



**PLANNING COMMISSION
SITE PLAN REVIEW
CASE SUMMARY**

**350 WAYNE STREET
USC DEVELOPMENT FOUNDATION
USC COLUMBIA INCUBATOR**

October 10, 2016 at 5:15pm

City Council Chambers, 3rd Floor, 1737 Main Street, Columbia, SC 29201

Subject Property:	350 Wayne Street
TMS#:	08913-04-01, 08913-03-06 and -07
Zoning District:	M-2, -PD (Heavy Industrial within the Planned Development Overlay District)
Council District:	2
Proposal:	Request site plan approval for the construction of a ± 50,000 sq. ft. building.
Applicant:	USC Development Foundation
Proposed Use:	Research Incubator (8731)
Staff Recommendation:	Approval with staff comments.

Detail:	<p>This project entails the construction of a ± 50,000 sq. ft., 3-story, research incubator building on 3.54 acres on the north side of Wayne and Catawba Streets. The project requires site plan approval by the Planning Commission due to the total square footage of all buildings on the site will exceed 100,000 sq. ft. The required number of off-street parking spaces for all of the buildings contained on the site is 330 (3 off-street parking spaces for each 1,000 sq. ft. of gross floor area) whereas 110 will be on-site and adjacent to the property. The applicant has submitted an application for a variance to the Board of Zoning Appeals for the remaining 220 off-street parking spaces that are required.</p> <p>Should the Commission be inclined to grant approval of the site plan, staff would request that the Commission grant approval subject staff comments.</p>
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CITY REVIEWING AGENCY COMMENTS

John Fellows, Planning	<p>Recommend approval with conditions:</p> <ol style="list-style-type: none"> 1. Sidewalks shall be provided along the north side of Catawba Street separated from the road with a planting strip per city standards. 2. Connectivity from the internal sidewalk system to the public sidewalk system shall be provided. 3. The intersection of Catawba, Wayne, and the driveway to the development shall be configured as an intersection with crosswalks on Catawba to allow this development to connect to the pedestrian system of the surrounding neighborhood. Thermo crosswalks with high visibility markings shall be provided. 4. Details of the Sidewalk and driveway shall be similar to SCDOT
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	standard Drawing 720-415-00 (Driveway with Separated sidewalk...) to all for continuous sidewalk for pedestrians.
K. Brian Cook, Zoning Administrator	Recommend approval with condition: <ol style="list-style-type: none"> 1. Available parking does not meet requirements. This approval is conditioned upon receiving a parking variance or other parking relief from the Board of Zoning Appeals.
Johnathan Chambers, Land Development Administrator	Recommend approval with condition: <ol style="list-style-type: none"> 1. City and State Encroachment permits will be required for work being conducted within the ROW. 2. Project spans three separate parcels with two separate ownerships. Site plan may need to be reconfigured such that parking spaces are totally contained on separate parcels. 3. Cross access easements shall be reviewed and approved prior the issuance of any building permits.
Jerry Thompson, Building Official	Recommend approval with condition: <ol style="list-style-type: none"> 1. Must comply with all applicable building codes.
Scott Rogers, Utilities	Recommend approval with conditions: <ol style="list-style-type: none"> 1. Any needed upgrade, extension or relocation of City utilities must be provided by the developer. 2. Any privately owned/maintained utilities or permanent structures cannot be located inside City of Columbia utility easements. 3. Water mains, sewer mains, water meters that are 4" or larger or any privately maintained utilities will not be allowed inside public right-of-ways or under sidewalks without an approved encroachment permit and written approval from the City Engineer. Coordination between the Civil Engineer, Architect and Mechanical Engineer to allow room for these utilities on the developed property is strongly encouraged. 4. If sewer flows for this project result in flows of 4,000 gallons per day or above calculations must be submitted to the City's Engineering department to determine how the proposed project will affect the City's sewer system. Depending upon the effects of the projected flows this project may or may not be approved. If required, these calculations should be submitted to the Engineering department as soon as possible.
David Brewer, Traffic Engineering	Recommend approval.
Kris Scott, Fire Department	Recommend approval.
Sara Hollar, Forestry	Recommend approval with condition: <ol style="list-style-type: none"> 1. If any new landscaping or irrigation is installed in the right of way, it must be approved by Forestry and Beautification and maintained by the adjacent property owner in a manner to not interfere with vehicular and pedestrian traffic. 2. SCDOT must approve any new landscaping installed along SCDOT roadways.
Mike Jaspers, Stormwater	Recommend approval with condition: <ol style="list-style-type: none"> 1. Jurisdictional determination from the Army Corps of Engineers may be necessary to delineate the edge of corps jurisdiction. 2. If water ways and or wetlands in or near the development are jurisdictional to the corps, City of Columbia buffer requirements will apply. 3. Design must meet all land disturbance requirements.
David Knoche, Parking	Recommend approval.
Robert Sweatt, Street Division	Recommend approval.
John Hooks, Solid Waste	Recommend approval.
Scott Holder, Landscaping	Recommend approval with conditions: <ol style="list-style-type: none"> 1. Detailed landscape plan to be provided. 2. Tree survey to be provided. Credit for existing trees will only be given

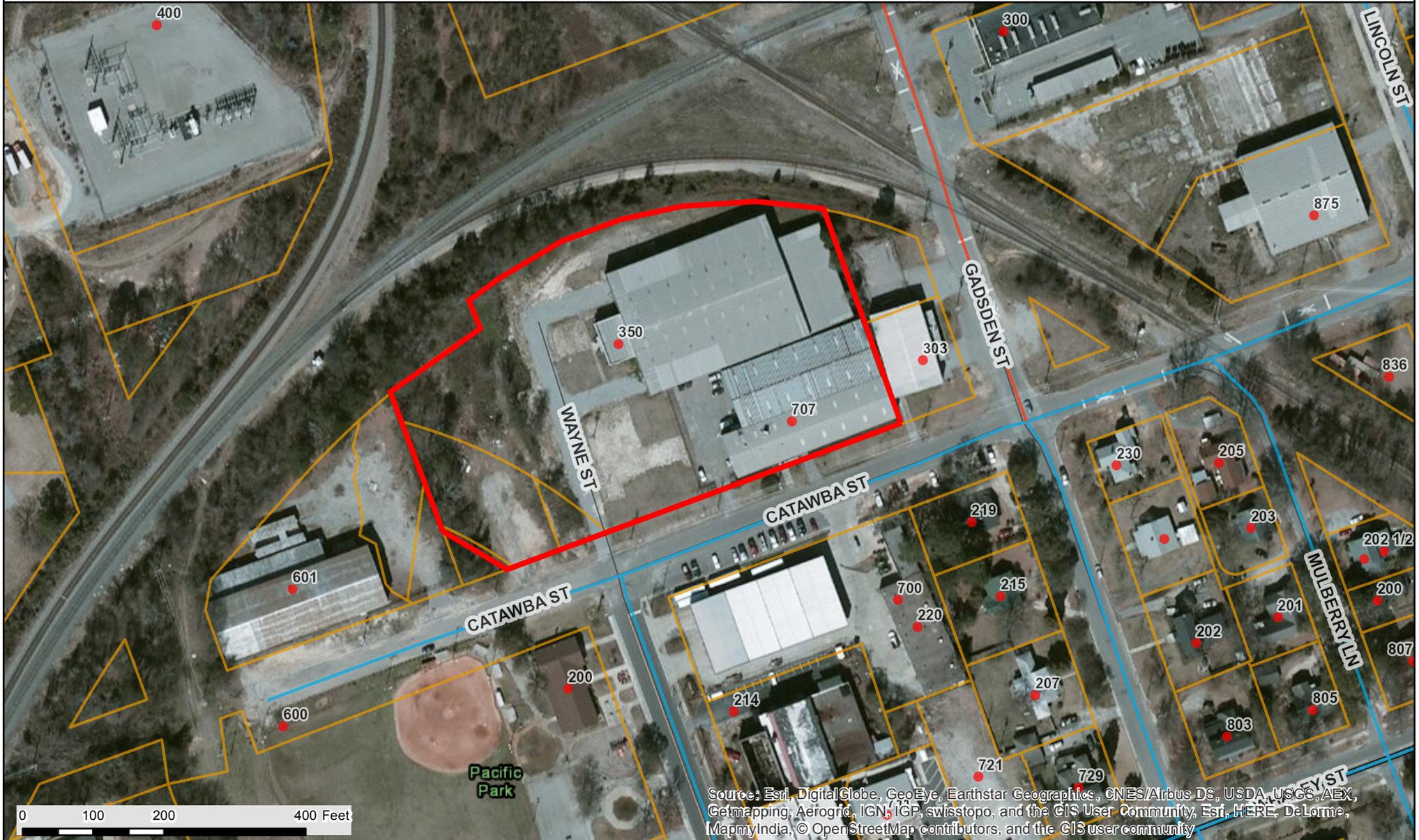
	for existing trees shown on a tree survey. 3. Remaining tree credits to be allocated to the tree fund.
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City of Columbia

USC Incubator - Site Plan Review



Monday, September 12, 2016



CITY OF COLUMBIA GIS DATA DISCLAIMER

The City of Columbia GIS data represented on this map or plan is the product of compilation, as produced by others. It is provided for informational purposes only and the City of Columbia makes no representation as to its accuracy. Its use without field verification is at the sole risk of the user.



We Are Columbia

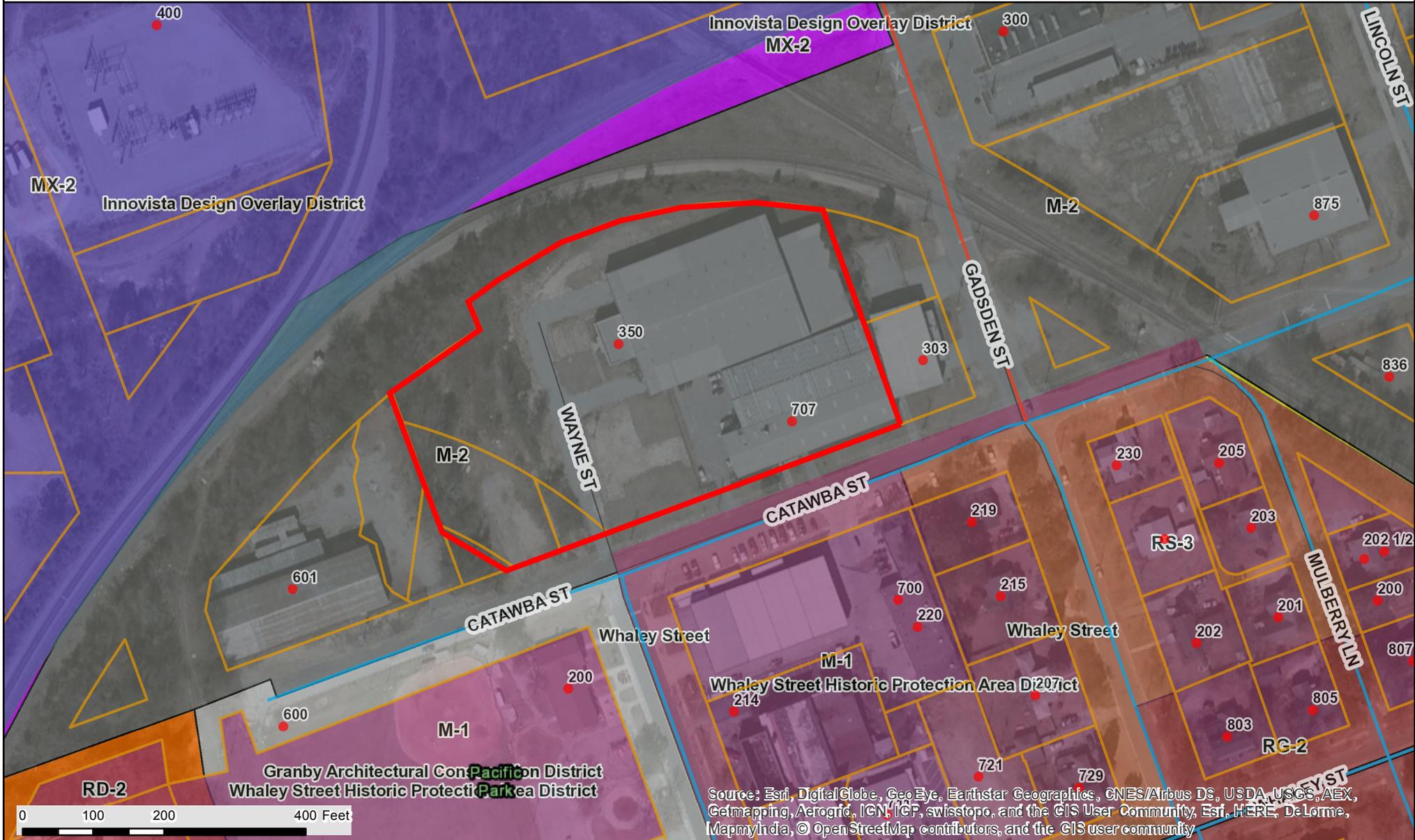


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USC Incubator - Site Plan Review



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We Are Columbia





City of Columbia

APPLICATION for

SITE PLAN/SUBDIVISION PLAT REVIEW

OFFICE USE ONLY: Date Received _____ By _____

1) APPLICANT (Please Print)

Name:	Chad Hardaway	Company:	USC Development Foundation
Tel. #:	(803) 206-7076	Fax#:	
Mobile #:		E-mail:	hardaway@sc.edu

Do you own any of the property affected by this application? YES NO; If NO, provide Letter of Agency

2) THIS APPLICATION IS FOR (Check all that apply)

Group/Individual Commercial Development

Group Residential Development

Residential Subdivision

Planned Unit Development Site Review

3) PROPERTY

Address:	707 Catawba Street		
TMS#:	08913-04-01, 02, 03	Total Acreage:	3.54
Current Use:	Warehouse	Proposed Use:	Office
Current Zoning:	M-2		
Number of Lots and/or Units:	3 Buildings	Total Sq. Ft.	110,000 S.F.

3) DETAILED PROJECT DESCRIPTION: (Attach additional paper if you need more space)

4) NEIGHBORHOOD CONSULTATION

Prior to the Planning Commission meeting, meet with the adjacent neighbors or neighborhood association to communicate details of the proposed project. Please note that this informational meeting is not required by ordinance, but is *strongly* encouraged. Contact information may be obtained from Zoning staff.

5) PLAN SUBMITTAL

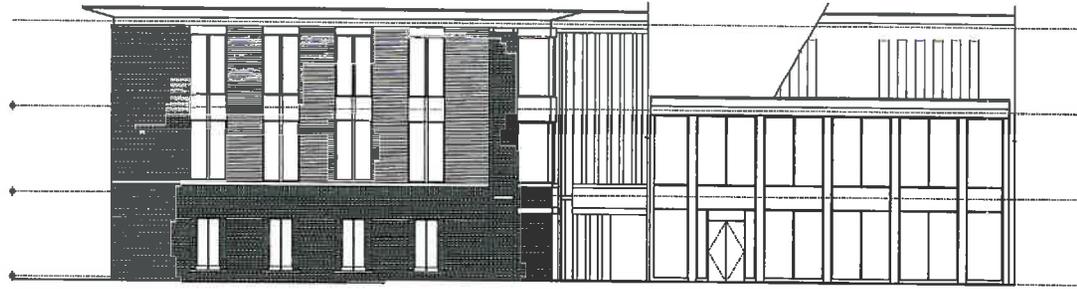
Please refer to the Checklist for Site Plan Review for materials required for submittal with this application

6) SIGNATURE

Applicant Signature:	
Print Name:	Chad Hardaway
Date:	9/7/16

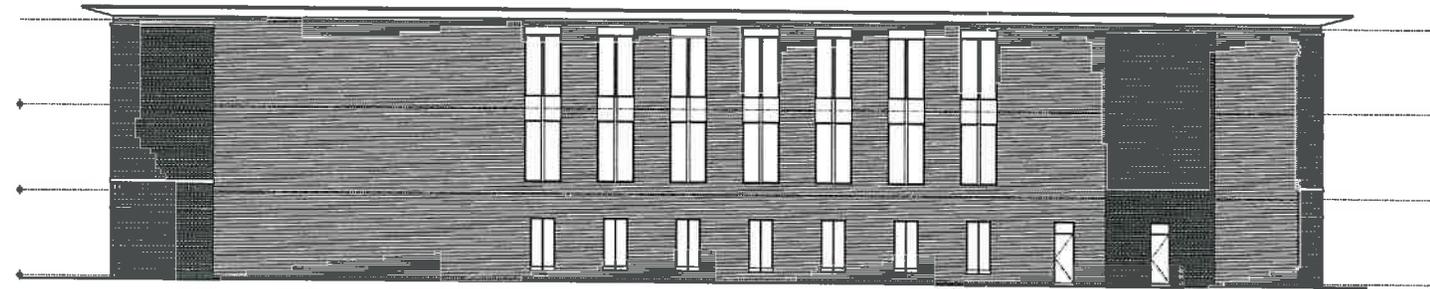
PC Date: _____ Action: _____





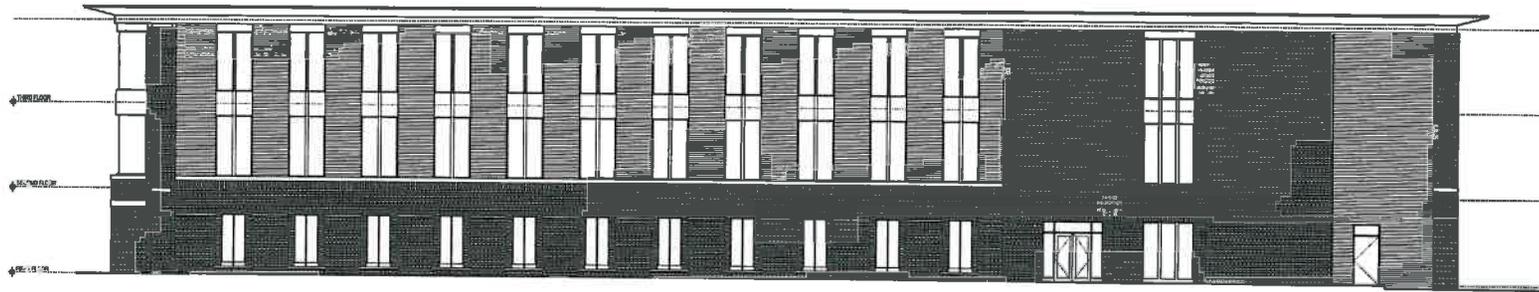
1 PARTIAL SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



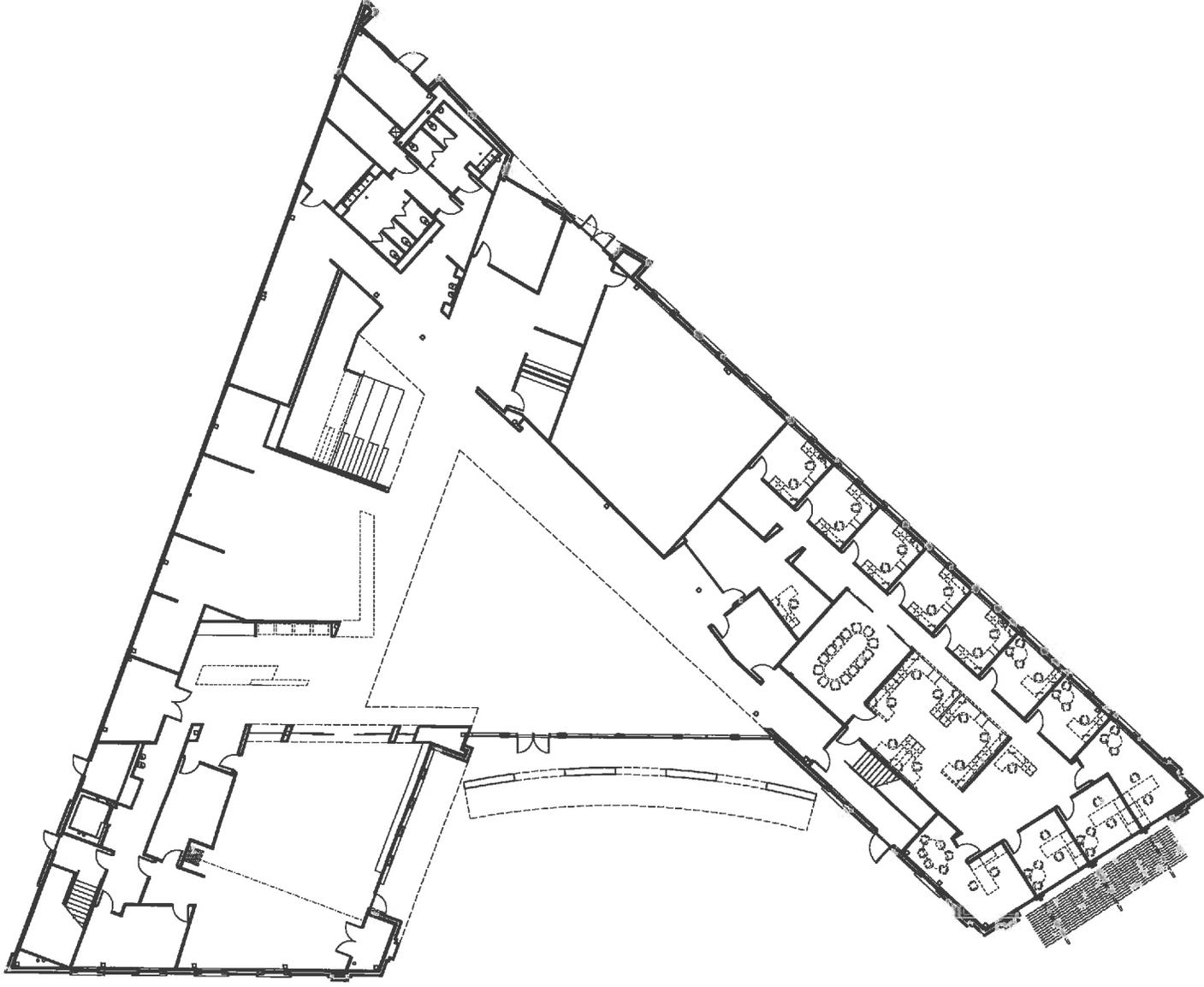
2 WEST ELEVATION

SCALE: 1/8" = 1'-0"

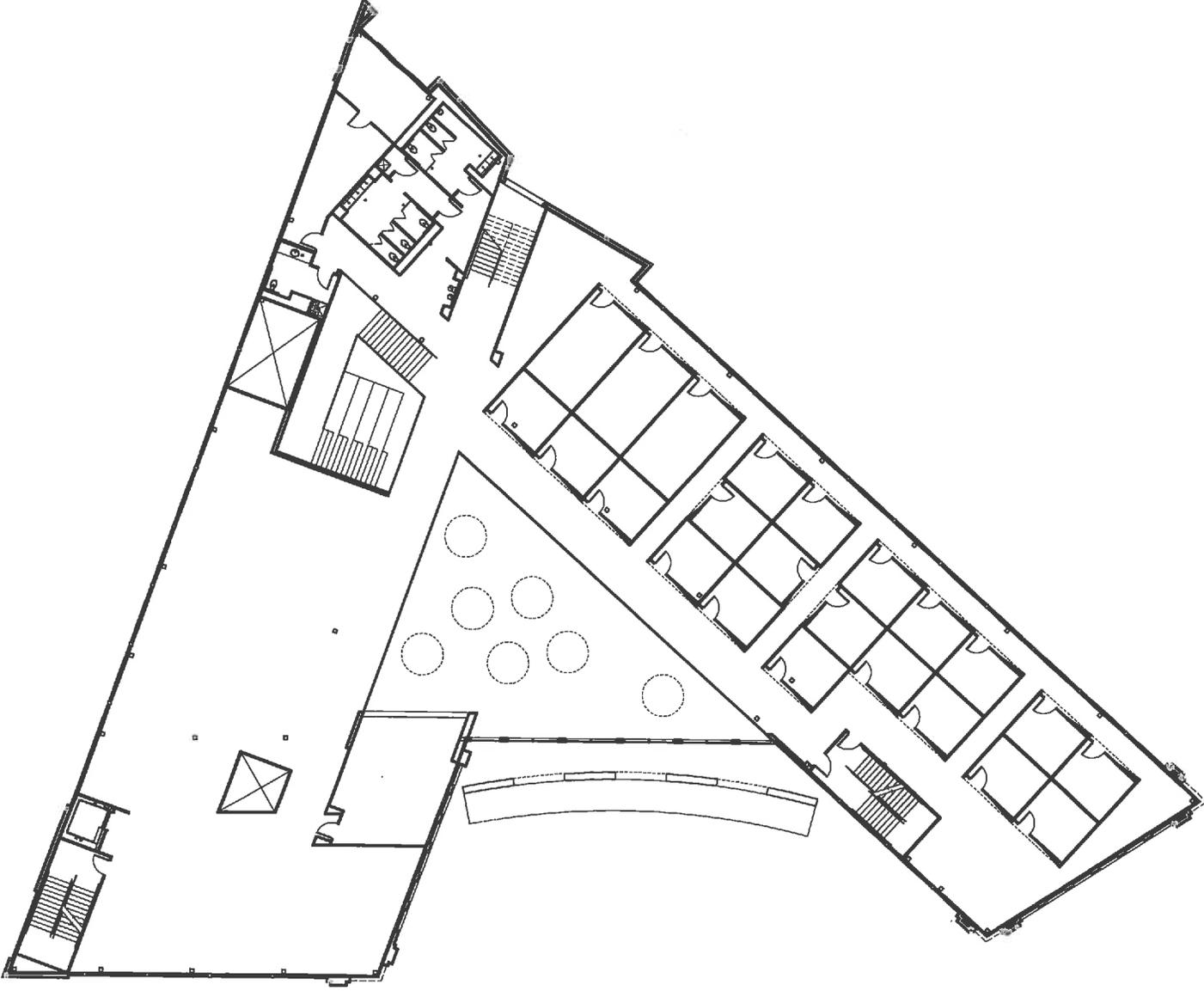


3 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

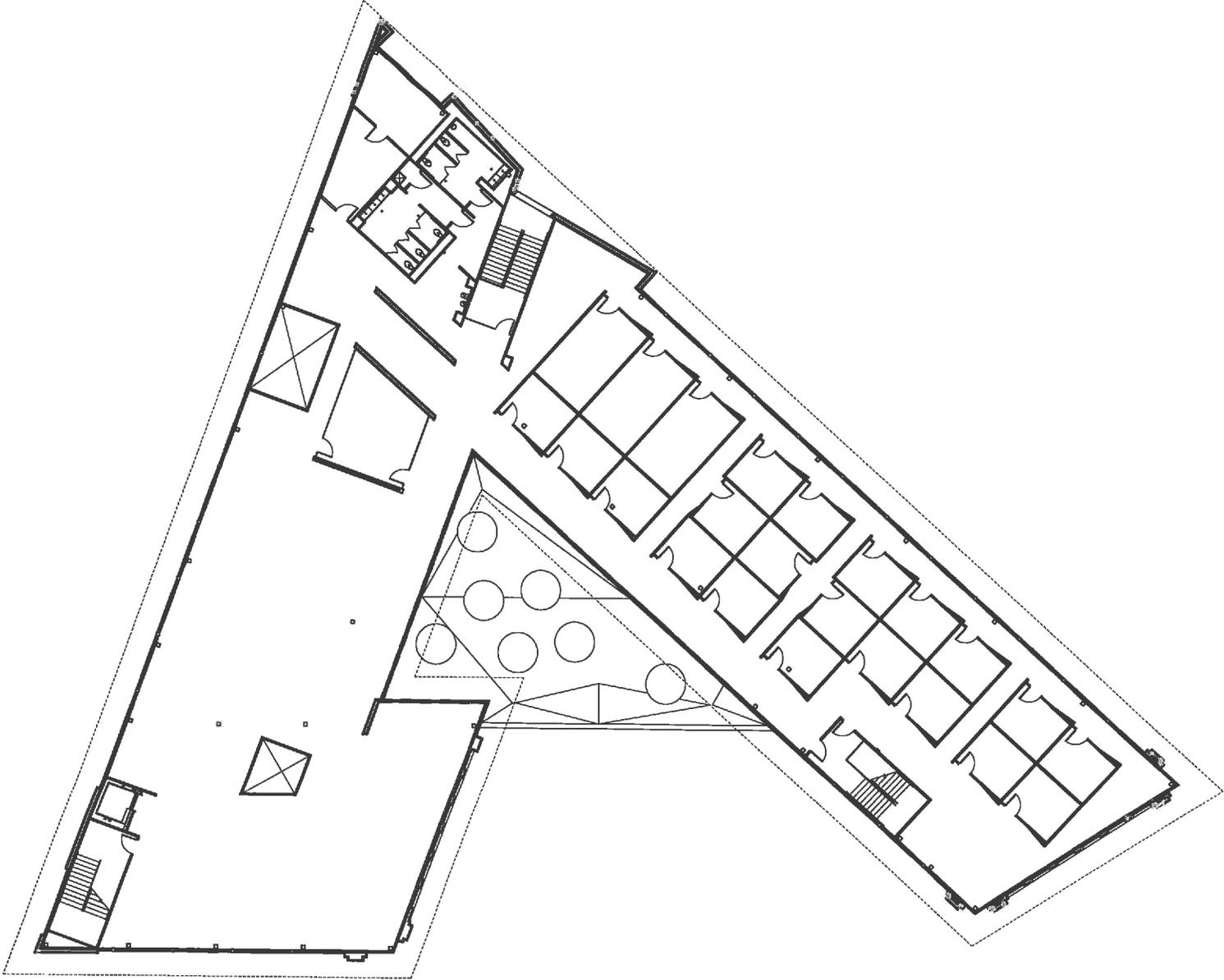


 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

Curve #	Arc Length	Radius	Delta	Chord Direction	Chord Length
C1	277.98'	535.35'	29°45'01"	N59°24'06"W	274.86'
C2	102.36'	435.35'	13°28'16"	N57°23'21"W	102.12'

GENERAL NOTE:
 THIS SITE CONTAINS CONTAMINATED SOILS AND/OR HAZARDOUS MATERIAL. THE CONTRACTOR IS TO FULLY COMPLY WITH ALL REQUIREMENTS OF THE SOILS MANAGEMENT PLAN DEVELOPED FOR THIS SITE. CONSULT WITH THE ENVIRONMENTAL CONSULTANT (TERRACON) FOR ANY AND ALL QUESTIONS CONCERNING HANDLING, REPORTING, AND LIMITATIONS OF CONSTRUCTION WITH CONTAMINATED SOILS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENVIRONMENTAL CONSULTANT IMMEDIATELY SHOULD THEY ENCOUNTER CONTAMINATED SOILS.

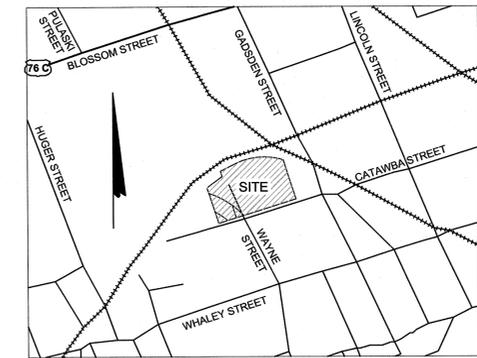
NOW OR FORMERLY Seaboard Coastline Railroad

PAVEMENT LEGEND

- NEW STANDARD DUTY ASPHALT PAVEMENT
- NEW HEAVY DUTY ASPHALT PAVEMENT
- NEW CATAWBA STREET ASPHALT PAVEMENT (PER CITY STANDARDS)
- NEW CONCRETE PAVEMENTS AND NEW CONCRETE HARDSCAPE

PARKING SUMMARY

PARKING SUMMARY (SURFACE):
 110 PARKING SPACES WHICH INCLUDES 6 ADA ACCESSIBLE



LOCATION MAP (Not to Scale)

PARKING LOT STRIPING NOTES

- ALL PARKING LOT STRIPING SHOWN SHALL BE PERFORMED BY THE CONTRACTOR USING WHITE TRAFFIC MARKING PAINT UNLESS OTHERWISE NOTED. PAINT SHALL BE FS-TT-P-1952, (WATERBORNE) COLOR WHITE OR AS OTHERWISE NOTED. TRAFFIC PAINT SHALL BE APPLIED IN TWO COATS AND IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ITEMS TO BE PAINTED WHITE INCLUDE: PARKING STALLS, STOP BARS, PEDESTRIAN CROSSING AREAS, AND DIRECTIONAL ARROWS OF SIZE & LOCATION SHOWN.
- ITEMS TO BE PAINTED YELLOW INCLUDE: DIVIDERS AND/OR MEDIANS, ALL SITE WORK PROTECTIVE GUARD POST BEYOND FIVE (5) FEET OF THE BUILDING, AND PEDESTRIAN CROSSING AREAS.
- ITEMS REQUIRING BLUE PAINT INCLUDE HANDICAP PARKING STALLS AND SYMBOLS AND ACCESSIBLE ISLANDS.

PARKING LOT SIGNAGE NOTES

- THE CONTRACTOR SHALL FURNISH AND INSTALL "HANDICAPPED PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOL AT ALL HANDICAPPED PARKING SPACES. SIGNS SHALL BE PER DETAIL.
- THE CONTRACTOR SHALL FURNISH AND INSTALL "STOP" SIGNS IN THE LOCATIONS INDICATED. "STOP" SIGNS SHALL BE 30" X 30", WITH RED REFLECTORIZED BACKGROUND AND WHITE REFLECTORIZED LEGEND AND BORDER CONFORMING TO SCDOT SPECIFICATIONS.

CODED SITE NOTES

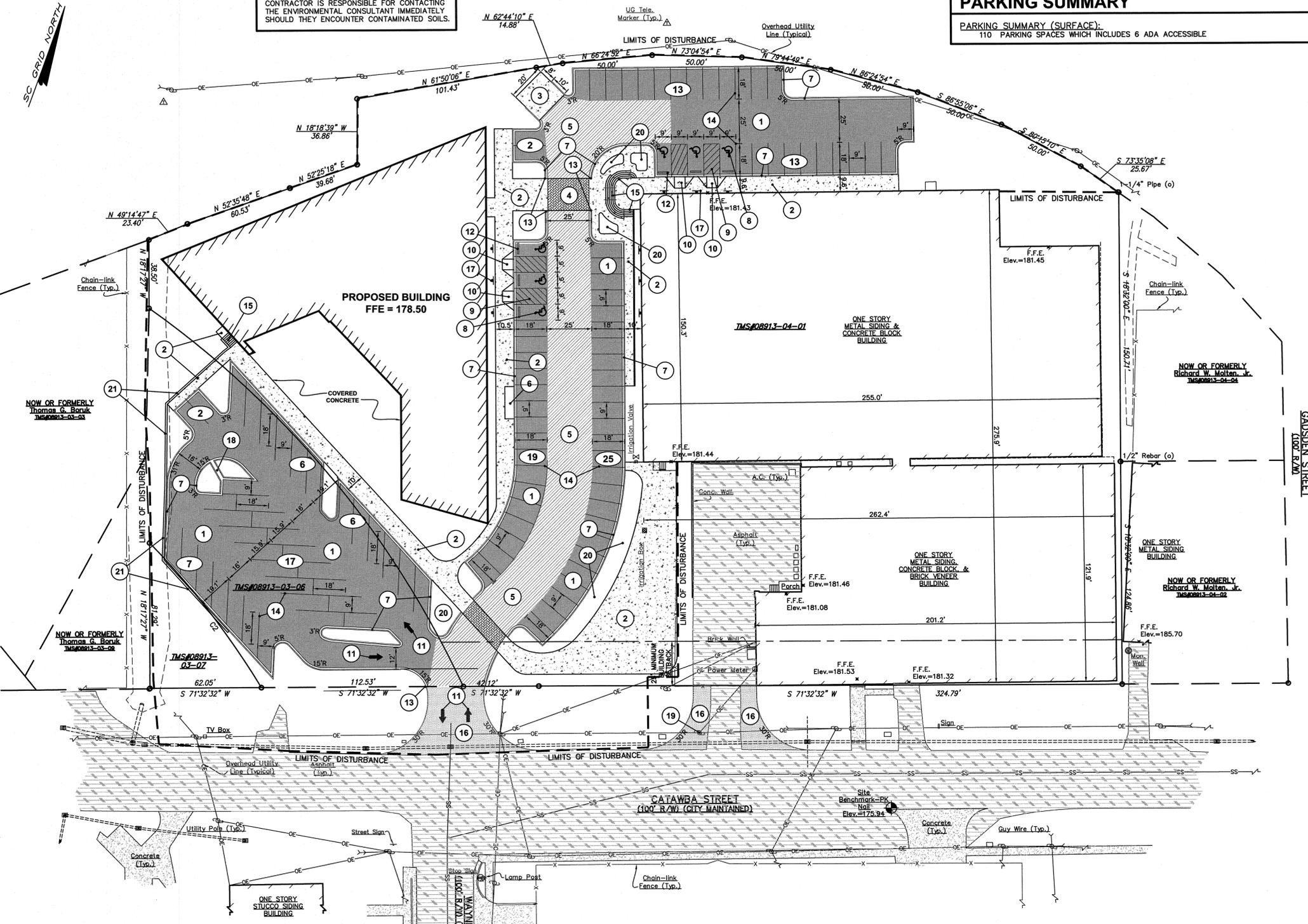
- NEW STANDARD DUTY ASPHALT PAVEMENT. (SEE DETAIL) VERIFY SECTION WITH GEOTECHNICAL ENGINEER.
- NEW CONCRETE SIDEWALK. (SEE DETAIL) VERIFY SECTION WITH GEOTECHNICAL ENGINEER.
- CONCRETE DUMPSTER PAD. (SEE DETAIL) VERIFY SECTION WITH GEOTECHNICAL ENGINEER.
- NEW STAMPED ASPHALT. (PATTERN AND COLOR TO BE DETERMINED)
- NEW HEAVY DUTY ASPHALTIC PAVEMENT. (SEE DETAIL) VERIFY SECTION WITH GEOTECHNICAL ENGINEER.
- NEW 5' WIDE X 18' LONG PLANTING AREAS.
- NEW 18" WIDE "L" TYPE CONCRETE CURB & GUTTER (TYP.)
- PAINTED ACCESSIBLE SYMBOL (SEE DETAIL). (TYPICAL AT ALL ACCESSIBLE PARKING SPACES). PROVIDE 1 SPACE DENOTED AS VAN ACCESSIBLE.
- 4" WIDE PAINTED BLUE ACCESSIBLE STRIPING @ 45', 2' O.C. (SEE STRIPING NOTES).
- HANDICAP RAMP WITH DETECTIBLE WARNING SURFACE (SEE DETAIL). FEATHER CURB WHEN APPLICABLE.
- PAINTED WHITE TRAFFIC DIRECTIONAL ARROW - TYPICAL OF THIS SYMBOL. (SEE DETAILS AND STRIPING NOTES).
- SITE CONTRACTOR TO PROVIDE AND INSTALL CONCRETE WHEEL STOPS AS SHOWN (TYPICAL AT ALL ACCESSIBLE STALLS) (SEE DETAIL).
- FEATHER CURB & GUTTER AT THIS LOCATION (SEE DETAIL).
- 4" WIDE PAINTED WHITE PARKING LOT STRIPING.
- STAIRS WITH METAL HANDRAIL (SEE DETAIL)
- ASPHALT PAVEMENT WITHIN CATAWBA STREET R/W TO BE PER CITY STANDARDS. REFER TO APPROVED CITY OF COLUMBIA ENCROACHMENT PERMIT.
- POST MOUNTED ACCESSIBLE SIGNAGE (SEE DETAIL)
- 2' WIDE CURB BREAK FOR DRAINAGE. (SEE GRADING PLAN)
- COORDINATE WITH UTILITY COMPANY TO RELOCATE EXISTING POLE OUTSIDE OF PROPOSED DRIVE EXPANSION.
- LANDSCAPE AREA
- RETAINING WALL WITH SAFETY RAIL, SCHEDULE 40 GALVANIZED PIPE SAFETY RAILS, 1.25" NOMINAL STEEL PIPE (O.D. 1.66") ALL WELDS TO BE GRINDING SMOOTH. ALL RAILS TO BE PAINTED BLACK. RAILS TO BE SET IN CORE DRILL OF TOP OF CURB AND GROUTED WITH EPOXY. RAILS SHALL BE VERTICAL AT 6" SPACING TO PREVENT CLIMBING, WITH A TOTAL HEIGHT OF 42" ABOVE GRADE. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR RAILS.

REFERENCES:

- THE SAME BEING SHOWN ON A PLAT PREPARED FOR THE UNIVERSITY OF SOUTH CAROLINA DEVELOPMENT FOUNDATION, BY ASSOCIATED ERS, INC., DATED FEBRUARY 28, 2005, AND RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR RICHLAND COUNTY IN RECORD BOOK 1030, PAGE 1866.

NOTES:

- THE PROJECT SITE CONSISTS OF TAX PARCEL 08913-04-01, 06, 07.
- THE TOTAL AREA OF THE PROJECT SITE IS 3.54 ACRES.
- THE SUBJECT PROPERTY IS CURRENTLY M2 (HEAVY INDUSTRIAL).
- REFERENCE MARK USED IS NGS MONUMENT DESIGNATED "SOUTH CAROLINA POPULATION CTR". ELEV.=312.7 (FEET) (NAVD83 DATUM), AS TAKEN FROM NGS DATA SHEET <http://www.ngs.noaa.gov/>. THE CONTOUR INTERVAL IS ONE (1) FOOT.
- THE PROPERTY IS LOCATED IN ZONE X, BY SCALED LOCATION AND GRAPHIC PLOTTING, AS DEPICTED ON FLOOD INSURANCE RATE MAP PANEL NO. 450790094H, DATED FEBRUARY 20, 2002.
- ALL DIMENSIONS REFERENCED TO THE CURB INCLUDING RADI ARE TO THE FACE OF CURB (PARKING LOT SIDE) UNLESS NOTED AS BACK OF CURB (BOC).
- ALL PROPERTY CORNERS ARE 1 1/4" OPEN PIPES, FOUND, UNLESS OTHERWISE NOTED.



RETAINING WALL NOTE:

RETAINING WALLS TO BE KEYSTONE SEGMENTAL BLOCK WALL OR APPROVED EQUAL. BOTTOM OF WALL ELEVATION REPRESENTS LOWER AT-GRADE ELEVATION ONLY. CONTRACTOR TO PROVIDE DESIGN OF RETAINING WALL AND FOOTINGS, SUBDRAINAGE/WATERPROOFING DESIGN, MATERIAL SUBMITTALS, AND/OR SHOP DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF SOUTH CAROLINA. CONTRACTOR AND DESIGN TO COMPLY WITH RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. IN NO WAY SHOULD THESE CONSTRUCTION DOCUMENTS BE CONSTRUED AS DESIGN DOCUMENTS OF THE PROPOSED RETAINING WALL. CONTRACTOR TO SUBMIT COLOR SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.

NOTES TO CONTRACTOR:

- CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE GEOTECHNICAL REPORT AND SOILS MANAGEMENT PLAN DEVELOPED BY TERRACON PRIOR TO BIDDING THIS PROJECT.
- CONTRACTOR WILL CONDUCT ALL GRADING AND OTHER CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND SOILS MANAGEMENT PLAN.

NOTE:
 INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES WAS OBTAINED FROM LOCAL UTILITY COMPANIES AND AVAILABLE DRAWINGS SUPPLIED BY THE OWNER AND IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. HOWEVER, COX AND DINKINS, INC. HAS NO NOTICE OR KNOWLEDGE OF ANY FACTS THAT WOULD LEAD US TO CONCLUDE THAT THE INFORMATION IS NOT ACCURATE. BUT UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS ASSIGNS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE UNDERGROUND INFORMATION. INFORMATION WITH RESPECT TO ABOVE-GROUND MONUMENTS OF SUCH UTILITIES IS BASED UPON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

The Palmetto Utility Protection Service, Inc.
 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
South Carolina 811
 CALL 811
 CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 30 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

COX AND DINKINS
 ENGINEERS - SURVEYORS
 COX AND DINKINS, INC.
 724 BELTLINE BLVD.
 COLUMBIA, SC 29205
 803-254-0518
 Fax: 803-765-0993
 Email: cdinc@coxanddinkins.com

REGISTERED PROFESSIONAL ENGINEER
 No. 24748

9/25/16

REGISTERED PROFESSIONAL ENGINEER
 No. 24748

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION

PREPARED FOR:
 UNIVERSITY OF SOUTH CAROLINA DEVELOPMENT FOUNDATION
 1027 BARNWELL STREET
 COLUMBIA, SC 29208
 Tel: 803-777-1547

USC COLUMBIA INCUBATOR
 EDA AWARD NUMBER: 04-01-06918
 LOCATED IN THE CITY OF COLUMBIA
 RICHLAND COUNTY, SOUTH CAROLINA
PLANNING COMMISSION SITE PLAN

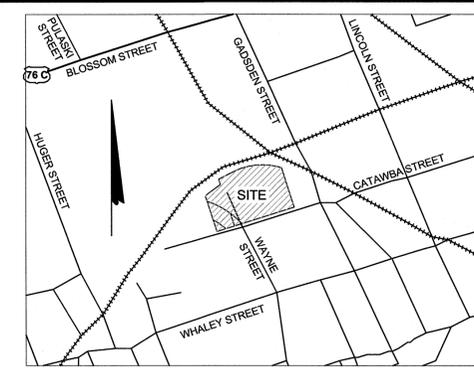
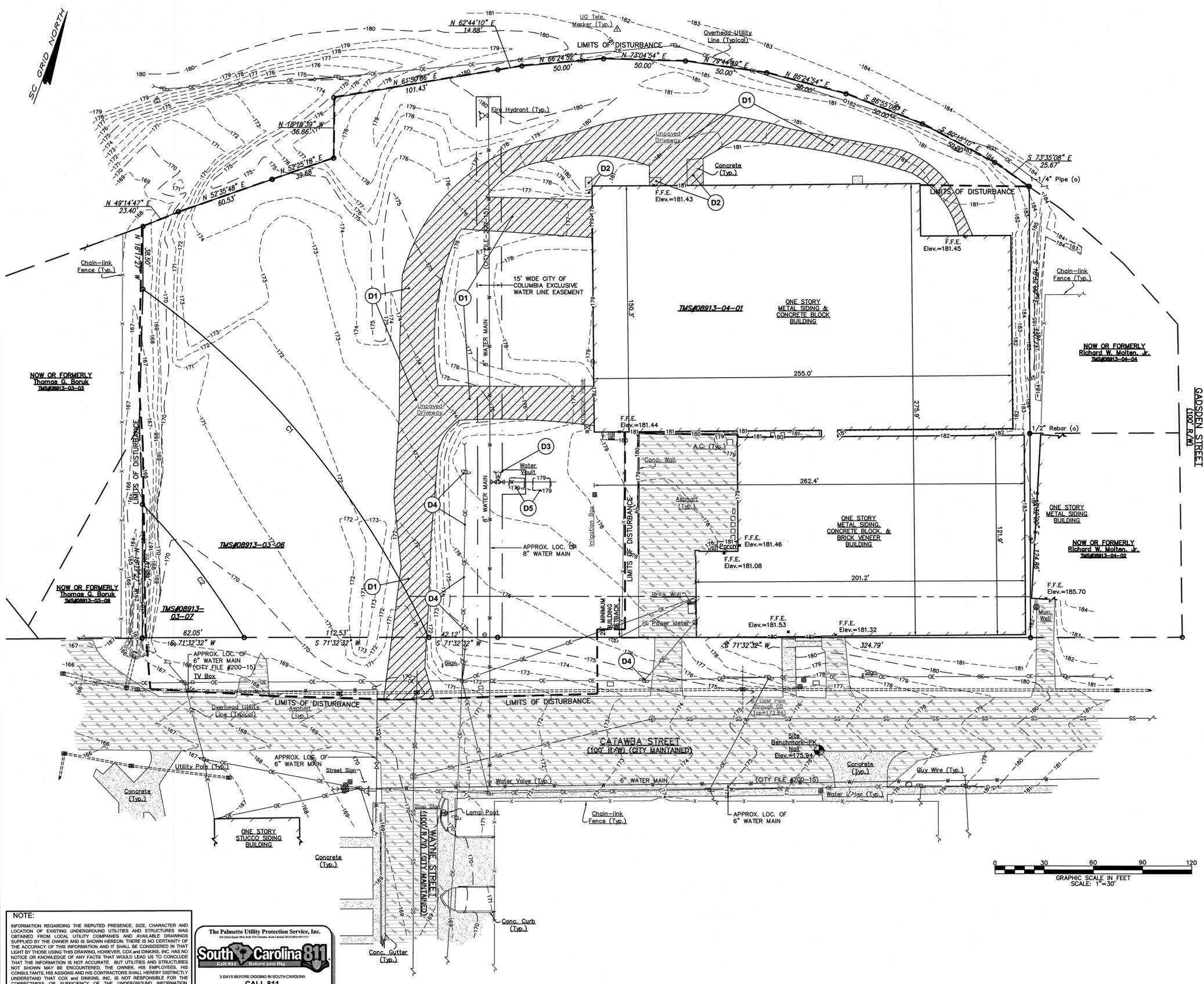
TMS 08913-04-01, 08913-03-06 & 07

BOOK 89B-25	SF NO. 194-21
PROJECT NO. 1898	SHEET NO. C2
DATE 6/03/2016	

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Curve #	Arc Length	Radius	Delta	Chord Direction	Chord Length
C1	277.98'	535.35'	29°45'01"	N59°24'06"W	274.86'
C2	102.36'	435.35'	13°28'16"	N57°23'21"W	102.12'

**NOW OR FORMERLY
Seaboard Coastline Railroad**



LOCATION MAP
(Not to Scale)

DEMOLITION/CLEARING NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS TO BE DEMOLISHED AND REMOVED FROM THE SITE. THE VERIFICATION PROCESS SHALL INCLUDE VISITING AND WALKING THE SITE. ALL ITEMS REQUIRING DEMOLITION/REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THERE SHALL BE NO BURNING ON SITE.
3. EXISTING STRUCTURES SO NOTED AND RELATED FOOTINGS, FOUNDATIONS, STEPS, ETC. ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF ACCORDING TO APPLICABLE REGULATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL AND/OR RELOCATION OF ALL UTILITIES (ABOVE AND BELOW GROUND LEVEL) AS NECESSARY TO ACCOMMODATE THE IMPROVEMENTS SHOWN ON THESE PLANS AND AS REQUIRED TO FACILITATE CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SERVICES WHICH ARE INDICATED TO BE EXTENDED OR OTHERWISE REUSED.
6. ALL EXISTING CONCRETE AND/OR ASPHALT PAVEMENT THAT IS INDICATED ON THESE PLANS TO BE REMOVED FROM THE PROJECT SITE SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR ACCORDING TO APPLICABLE CODES.
7. THE CONTRACTOR SHALL CONSULT THE OWNER REGARDING SALVAGE. ANY ITEMS NOT RETAINED BY THE OWNER SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMOLISH AND/OR LEGALLY DISPOSE OF.
8. EROSION AND SEDIMENT CONTROL DEVICES MUST BE IN PLACE PRIOR TO DEMOLITION.
9. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE AGENCIES FOR PROPER REMOVAL AND DISPOSAL.
10. DEMOLITION SHALL MEET ALL APPLICABLE STATE, LOCAL, AND FEDERAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPLICABLE PERMITS.
11. CONTRACTOR SHALL GRADE DEMOLISHED AREAS TO DRAIN (PIPES, PARKING, ETC.)

DEMOLITION CODED NOTES

- (D1) EXISTING STONE DRIVE TO BE REMOVED. (HATCHED AREA)
- (D2) EXISTING CONCRETE SIDEWALK TO BE REMOVED. (HATCHED AREA)
- (D3) EXISTING HYDRANT TO BE RELOCATED.
- (D4) COORDINATE WITH UTILITY COMPANY FOR REMOVAL/RELOCATION OF OVERHEAD ELECTRIC AND UTILITY POLE.
- (D5) EXISTING METER VAULT AND BACKFLOW PREVENTER VAULT TO BE RELOCATED.

COX AND DINKINS
ENGINEERS - SURVEYORS
COX AND DINKINS, INC.
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803-254-0518
Fax: 803-765-0993
Email: cdinc@coxanddinkins.com

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 24748
9/17/16
REGISTERED PROFESSIONAL ENGINEER
No. 24748

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 00294
COX AND DINKINS, INC.

CERTIFICATE OF AUTHORIZATION SEAL

REVISIONS	DESCRIPTION
No.	DATE

PREPARED FOR:

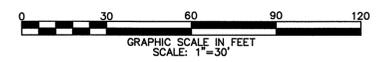
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Tel: 803-777-1547

PROJECT:
USC COLUMBIA INCUBATOR
EDA AWARD NUMBER: 04-01-06918
LOCATED IN THE CITY OF COLUMBIA
RICHLAND COUNTY, SOUTH CAROLINA
PLANNING COMMISSION EXISTING CONDITIONS

TMS 08913-04-01, 08913-03-06 & 07	BOOK 89B-25	SF NO. 194-21
PROJECT NO. 1898	SHEET NO. C1	
DATE 6/03/2016		

NOTE:
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The Palmetto Utility Protection Service, Inc.
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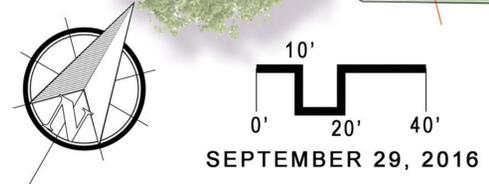
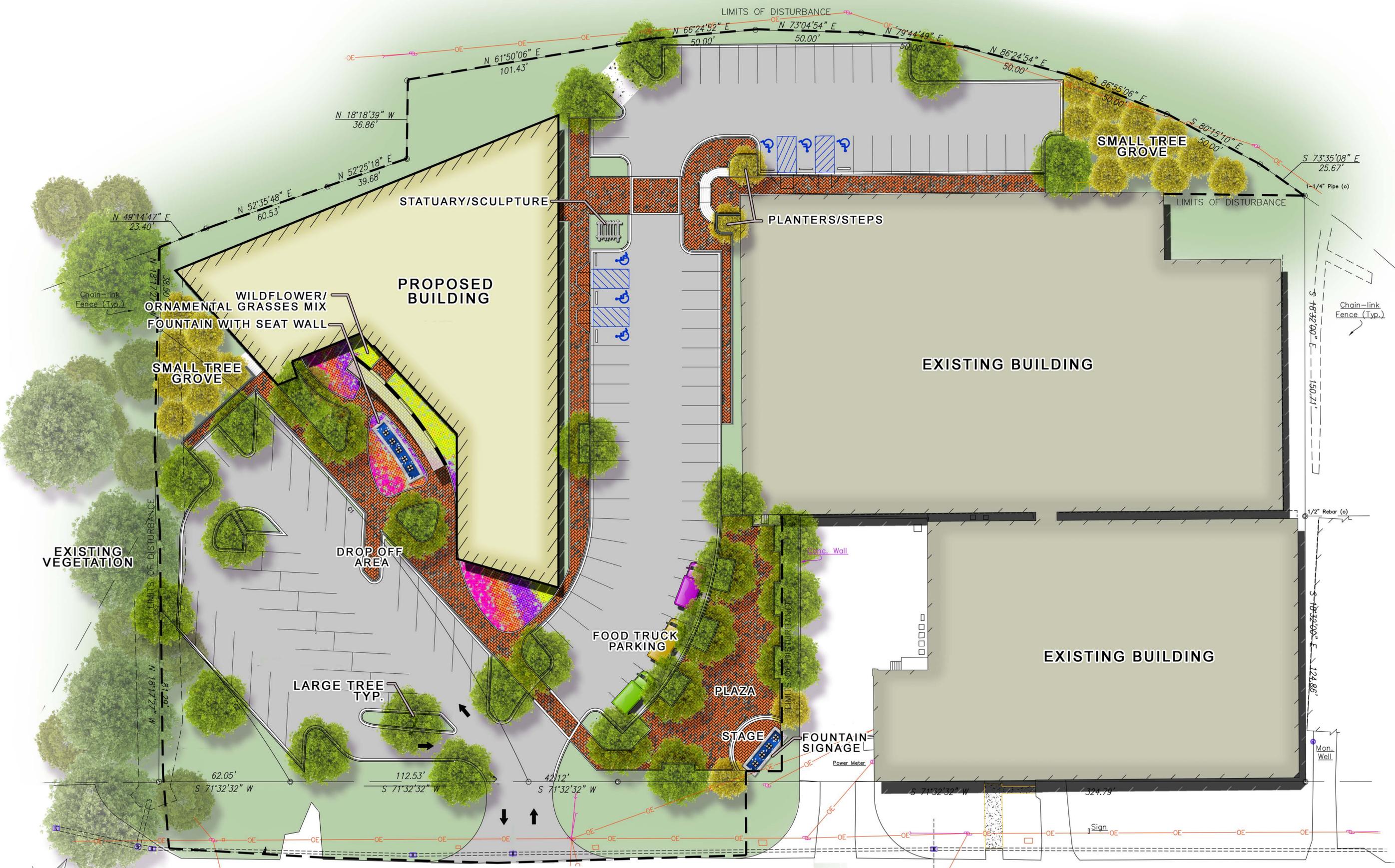


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NOTES:

- 1) THE PROJECT SITE CONSISTS OF TAX PARCEL 08913-04-01, 06, 07.
- 2) THE TOTAL AREA OF THE PROJECT SITE IS 3.54 ACRES.
- 3) THE SUBJECT PROPERTY IS CURRENTLY M2 (HEAVY INDUSTRIAL).
- 4) REFERENCE MARK USED IS NGS MONUMENT DESIGNATED "SOUTH CAROLINA POPULATION CTR". ELEV.=312.7 (FEET) (NAVD88 DATUM), AS TAKEN FROM NGS DATA SHEET <http://www.ngs.noaa.gov/>. THE CONTOUR INTERVAL IS ONE (1) FOOT.
- 5) THE PROPERTY IS LOCATED IN ZONE X, BY SCALED LOCATION AND GRAPHIC PLOTTING, AS DEPICTED ON FLOOD INSURANCE RATE MAP PANEL NO. 45079C0094 H, DATED FEBRUARY 20, 2002.
- 6) ALL DIMENSIONS REFERENCED TO THE CURB INCLUDING RADI ARE TO THE FACE OF CURB (PARKING LOT SIDE) UNLESS NOTED AS BACK OF CURB (BOC).
- 7) ALL PROPERTY CORNERS ARE 1 1/4" OPEN PIPES, FOUND, UNLESS OTHERWISE NOTED.



USC COLUMBIA TECHNOLOGY INCUBATOR BUILDING