



02/12/2013



D/DRC Case

1504-1508 Main Street

Individual Landmark / City Center Design/Development District



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
CONSENT AGENDA
EVALUATION SHEET
Case # 5

ADDRESS: 1504-1508 Main Street, Kress Building

APPLICANT: Tom Prioeschi, owner

TAX MAP REFERENCE: TMS# 09014-09-18

USE OF PROPERTY: Commercial/Residential

REVIEW DISTRICT: Individual Landmark

NATURE OF REQUEST: Request for Certificate of Design Approval for exterior changes and for preliminary certification for the Bailey Bill

FINDINGS/COMMENTS:

The building located at 1508 Main Street was constructed in 1934 as a SH Kress & Co. five and dime department store. The building is decorated with a terracotta façade that includes colorful floral motifs typical of the Art Deco style. The Art Deco ornamentation, which includes lotus blossoms and papyrus, are seen above the windows and along the building's cornice. These motifs are also evident in the painted copper marquee and at the terracotta pilasters along the storefront. The original signage is also intact with the word "Kress" at the cornice and the words "SH Kress & Co 5-10-25 Cent Store" above the marquee. One notable alteration to the building is the 1952 L shaped addition that allowed for an additional Kress storefront on Hampton Street. Built in the International Style, the Hampton Street storefront lacks the embellishment seen on the Art Deco façade. However, this façade also retains its original Kress signage and prominent marquee. The Kress building is listed as an Individual Landmark and was listed on the National Register of Historic Places in 1979.

The building is in need of various repairs and the property owner is applying for the Bailey Bill as part of the building's rehabilitation process. Most of the proposed work would follow more of a maintenance and rehabilitation scope with an emphasis on repair instead of wholesale replacement of historic materials. The only proposed exterior alteration to the building that is at the North West corner of the building where the original terracotta corner has been replaced with metal. The applicant is planning to replace the metal corner piece with terracotta to match the original design. The applicant is also proposing to convert the rooftop mechanical room into a penthouse; however, this alteration will not be visible from the public right-of-way.

Other rehabilitation efforts proposed for the building include repair and patching the terracotta facade, repointing brick, and upgrading the HVAC, plumbing, and electrical systems. The removal of historic materials or alterations of features that characterize the property shall be avoided. Additional work such as roof repairs and restoration of the terrazzo flooring will count towards the

investment threshold. The applicant estimates that qualified rehabilitation expenses for this project will meet or exceed the 20% minimum investment threshold needed to make the project eligible.

PERTINENT SECTIONS FROM GUIDELINES:

Changes to landmark buildings rely upon the following recommendations from Section 17-674(d) of the City of Columbia Zoning Ordinance:

- (1) *For landmark districts and individual landmarks, the historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The historic character will be retained and there is no alteration of existing historic materials proposed.

- (2) *In architectural conservation districts and protection areas, the historic character of a property shall be retained and preserved through the preservation of historic materials and features which characterize the historic district.*

Not applicable

- (3) *For individual landmarks and the landmark district, each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

The terracotta corner piece that will be added to the northwest corner will be a replica of the terracotta element that was in place originally. This replica will be fabricated to match the terracotta corner still intact on the southwest corner of the building. The replacement piece should be reviewed by staff prior to installation.

- (4) *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

All historic features will be retained and preserved.

- (5) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

All historic features and materials will be preserved and repaired. Any mortar applied during repointing should match the original mortar in strength, composition, color, texture, and joint profile.

- (6) *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence, and character-defining features that have been lost due to intentional damage, removal, or neglect shall be rebuilt.*

All historic features and materials will be preserved and repaired. Mortar patches and will match color, texture, and quality of the original. Research is ongoing for the correct way to patch terracotta and will be reviewed by staff once a method and material is determined. The missing terracotta corner piece will be fabricated to match the existing south west terracotta corner.

(7) *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. No harmful chemical or physical cleaning techniques shall be used. The applicant has not proposed any cleaning methods; however, staff is reviewing the advisability of waterproof coatings for terracotta and mortar. Sealing masonry is not generally advised but the applicant is continuing to work with staff on this issue.*

(8) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Not Applicable

(9) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Not Applicable

Bailey Bill Sec. 17-698. - Eligible rehabilitation.

(a) Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

(1) The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.

(2) Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.

(3) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

(4) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

(5) Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

(6) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

(7) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.

(8) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The above items are the parameters for review for projects that receive the Bailey Bill; this language is largely duplicative to the language from the City ordinance by which the project has already been addressed. All above criteria will be met in this project. If any future work is proposed beyond the scope of what is presented here then it will be reviewed.

STAFF RECOMMENDATIONS:

Staff recommends a Certificate of Design Approval for the project as proposed based on its conformance with Sec. 17-674(d) of the City Ordinance, with the following conditions:

- The replacement terracotta corner piece reviewed by staff prior to installation;
- The mortar and terracotta patching/replacement reviewed by staff;
- Any proposed cleaning of terracotta, brick, or mortar reviewed by staff;
- All details deferred to staff.

Staff finds that the project complies with Sec. 17-698(a) of the City Ordinance and recommends that 1508 Main Street be given preliminary certification for the Bailey Bill with the following conditions:

- The project shall meet all staff recommendations for Certificate of Design Approval as listed above;
- The project shall meet or exceed the 20% investment threshold requirement for qualified rehabilitation expenses;
- All work shall meet the standards for work as outlined in Section 17-698;
- All details deferred to staff.



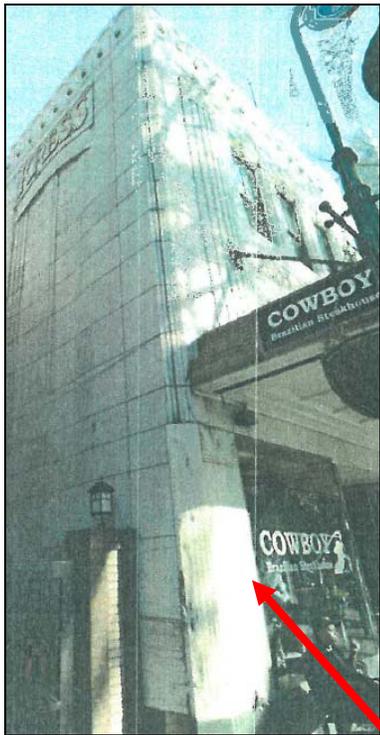
1508 Main Street (image from Google maps)



Kress Building, Hampton Street storefront (image from Google maps)



Terracotta façade details (images provided by applicant)



Northwest corner with metal replacement

CITY OF COLUMBIA
PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

<p>Architectural feature <u>Overall Upgrade of Entire Building</u> Approximate date of feature <u>1935</u> Describe feature and its condition <u>REHABILITATED & UPGRADED THE ENTIRE BUILDING IN 1999 AND 2000. NOW WE ARE ONCE AGAIN UPGRADING IT ADDING ONE APT, ADDING 1ST FLOOR HALF BATHS TO LOFT APTS CONVERTING 3 LARGE 1 BR UNITS TO 2 BR'S, AND IMPROVING ALL CURRENT APTS. MOST IMPORTANTLY UPGRADING OUTSIDE PER HISTORIC COMMISSION COMMENTS</u> Photograph No. <u>NUMEROUS</u> Drawing No. <u>HISTORIC COLUMBIA SURVEY, ETC ATTACHED</u></p>	<p>Describe work and impact on feature <u>WORK LIST INCLUDED SHOWS EXTERNAL FIXES BEING MADE WITHOUT CHANGING PHYSICAL APPEARANCE OF BUILDING, SUCH AS SEAWALLS, TERRA COTTA FIXES, POINTING, ETC. ADDITION OF 1 APARTMENT TO CURRENT ELEVATOR/MECHANICAL ROOM PER DRAWING'S CONVERSION OF 3, 1 BR APTS INTO 2 BR APTS PER DRAWING'S. ADDITION OF 1/2 BATHS TO 1ST FLOOR EQUAL LEVEL LOFTS PER DRAWING'S.</u></p>
<p>Architectural feature <u>NW CORNER DAMAGED TERRA COTTA</u> Approximate date of feature <u>1935</u> Describe feature and its condition <u>SOMETIME OVER THE LAST 50 YEARS A VEHICLE PULLING INTO THE FORMER ALLEY THAT RAN ALONG THE NORTH WALL DESTROYED THE LOWER TERRA COTTA CORNER PIECE. IT WAS REPLACED BY A FORMED METAL CORNER PIECE WHICH ALSO HAS UNDERGONE SUBSEQUENT DAMAGE OVER THE YEARS</u> Photograph No. <u>#4 & #8 IN WORK PLAN</u> Drawing No. <u></u></p>	<p>Describe work and impact on feature <u>WE WILL FABRICATE AND INSTALL A CORNER CLOSURE DETAIL TO REPLICATE THE ORIGINAL CORNER LOOK AND FINISH LOCATED AT OUTSIDE CORNER ON STREET SIDE WHERE NORTH WALL MEETS WEST WALL. WE WILL USE DETAILS FROM SOUTH WALL/WEST WALL CORNER AS A MODEL.</u> <u>⊗ SAMPLE OF FINISH WILL BE PROVIDED FOR CITY PERSONNEL APPROVAL BEFORE INSTALLATION.</u></p>
<p>Architectural feature <u>FLOORS</u> Approximate date of feature <u>1935</u> Describe feature and its condition <u>TERRAZZO FLOOR ON ENTIRE 1ST FLOOR LOBBY ARE IN EXCELLENT ORIGINAL CONDITION</u> <u>THE SECOND FLOOR LOBBY ORIGINALLY COVERED WITH TILE AND THEN CARPETED WHEN APTS PUT IN IN 2000 WILL BE REMOVED TO VANTILITE</u> Photograph No. <u>NA</u> Drawing No. <u>NA</u></p>	<p>Describe work and impact on feature <u>WILL BE CLEANED AND POLISHED TO RESTORE SHINE & LUSTER</u> <u>NEW LONG LASTING AND MORE DURABLE VINYL TILE ADDED</u></p>
<p>Architectural feature <u>WALLS</u> Approximate date of feature <u>ALL ORIGINAL PLASTER 1935</u> Describe feature and its condition <u>ALL ORIGINAL PLASTER WALLS KEPT INTACT. BUILDING COMPLETELY RENOVATED FOR APTS IN 1999/2000 SOME MINOR ADDITIONAL INTERNAL WALLS BEING ADDED FOR CONVERTING PENTHOUSE MECH ROOM TO APT. AND CREATING 3, 2 BR'S FROM LARGE 1 BR'S (ALL DRYWALL CHANGES)</u> Photograph No. <u>NA</u> Drawing No. <u>ARCHITECTURAL FLOOR PLANS</u></p>	<p>Describe work and impact on feature <u>NEW DRYWALL PARTITIONS ADDED IN PENTHOUSE, 217, 218, 219 AND UNITS 101 TO 110 INCLUSIVE.</u></p>

CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

Architectural feature <u>SYSTEMS</u> Approximate date of feature <u>NEW ADDITIONS</u> Describe feature and its condition <u>ELECTRICAL SERVICE LOCATED IN BASEMENT. HOME RUNS TO EACH APARTMENT</u> <u>HVAC SERVICE. INDEPENDENT UNITS PER FLOOR</u> <u>PLUMBING. WATER COMES FROM BASEMENT</u> <u>SEWER LINES RUN IN CHASES AND IN FLOOR. WILL BE SHOWN ON B. PERMITS DRAWINGS.</u> Photograph No. <u>NA</u> Drawing No. <u>ON B. PERMITS DRAWINGS.</u>	Describe work and impact on feature <u>NEW ELECTRIC SERVICE WILL BE RUN FROM A NEW METER UP EXISTING CHASE TO 3RD FLOOR</u> <u>NEW SEPARATE CONDENSER AND AIR HANDLERS TO BE INSTALLED FOR ADDITIONAL PENTHOUSE UNIT</u> <u>WATER LINE TO PENTHOUSE WILL RUN FROM 2ND FLOOR JANITOR CLOSET LINES</u> <u>WATER LINES ON 1ST FLOOR UNITS WILL TAP OFF PLUMBING IN UNITS</u> <u>SEWER LINES FROM 3RD FLOOR WILL RUN IN EXISTING CHASE.</u> <u>SEWER LINE FROM 1ST FLOOR UNITS WILL TAP THROUGH FLOOR INTO BASEMENT AND CONNECT TO EXISTING LINES</u>
Architectural feature _____ Approximate date of feature _____ Describe feature and its condition _____ Photograph No. _____ Drawing No. _____	Describe work and impact on feature _____ Photograph No. _____ Drawing No. _____
Architectural feature _____ Approximate date of feature _____ Describe feature and its condition _____ Photograph No. _____ Drawing No. _____	Describe work and impact on feature _____ Photograph No. _____ Drawing No. _____
Architectural feature _____ Approximate date of feature _____ Describe feature and its condition _____ Photograph No. _____ Drawing No. _____	Describe work and impact on feature _____ Photograph No. _____ Drawing No. _____

**Fair market value means the appraised value as certified to the DDRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.*

CITY OF COLUMBIA
PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - AMENDMENT FORM

Use this form to propose changes in project work. Submit the completed and signed form to Planning Department, PO Box 147,1136 Washington Street, Columbia, SC 29217. Phone: 803.545.3222; fax: 803.733.8647.

Name of Property (as submitted on Part A form):

THE KRESS BUILDING 1504-1508 MAIN ST

Address 1504-1508 MAIN ST.

City COLUMBIA, S.C., South Carolina (ZIP) 29201

Describe changes in the project work: ENTIRE BUILDING, EXCEPT COMMERCIAL SPACES, ARE BEING UPDATE AND UPGRADED AS APARTMENTS ARE NOW 16 YEARS OLD. ONE NEW APT BEING ADDED IN ELEVATOR/MECHANICAL ROOM. ENTIRE OUTSIDE OF BUILDING BEING "REPAIRED" FOR SURVEY PERFORMED BY HISTORIC COLUMBIA W/O CHANGING BUILDING APPEARANCE

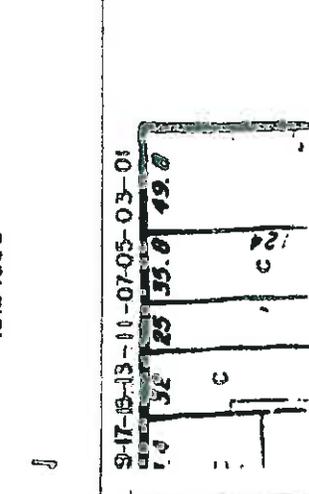
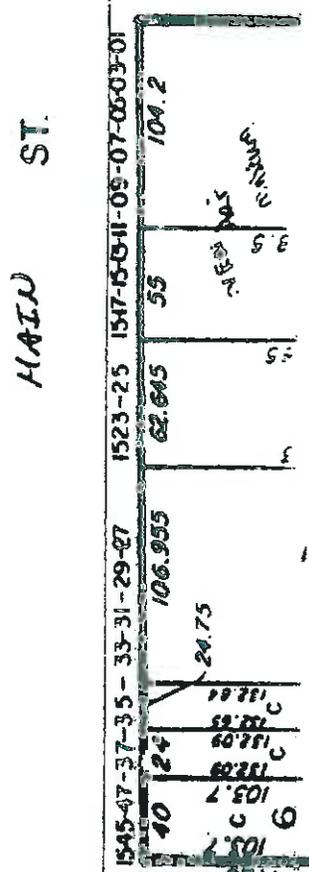
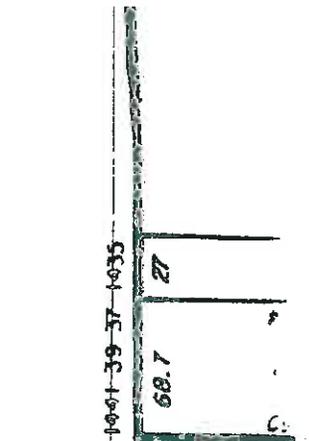
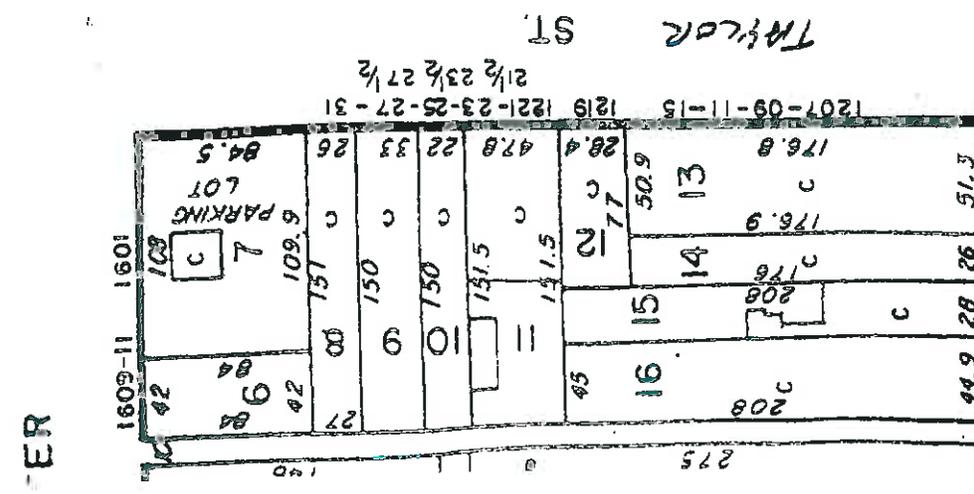
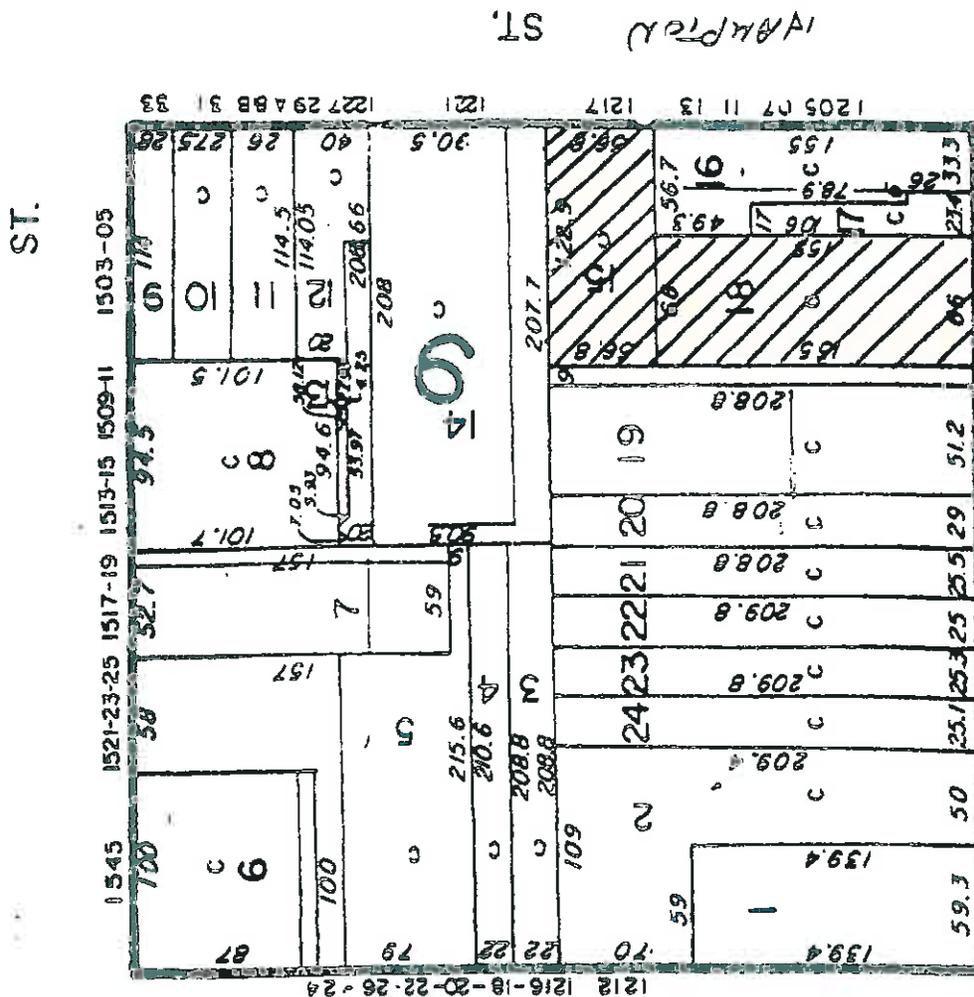
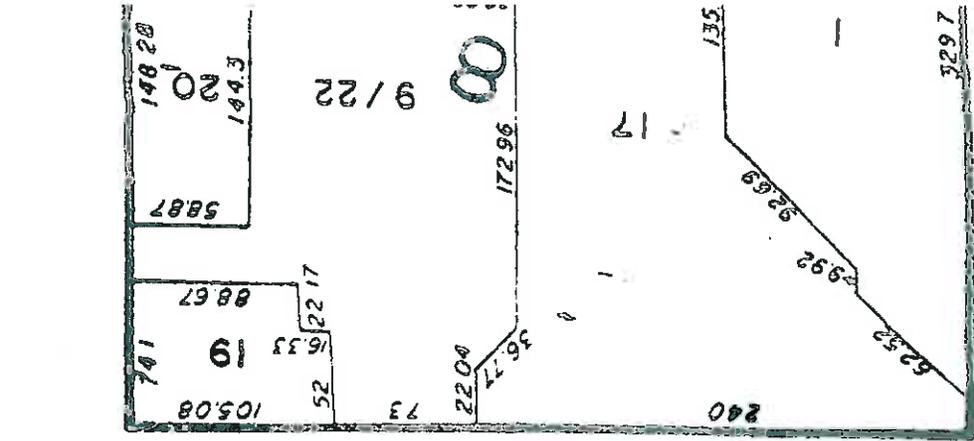
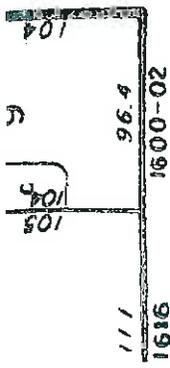
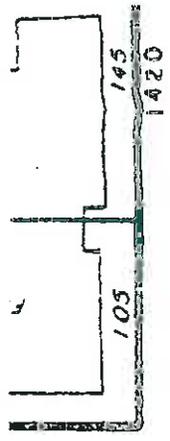
OWNER INFORMATION

Name CAPITAL PLACES I, LLC Signature [Signature]
Address 1504-1508 MAIN ST. Date 9-24-2016
P.O. Box 2851 COLUMBIA, S.C. 29202 Daytime Telephone 803-920-5909

PLANNING DEPARTMENT USE ONLY

- The work as described in this amendment appears to meet the Standards for Rehabilitation and would receive final approval if completed as described.
- The work as described in this amendment would meet the Standards for Rehabilitation if the Special Conditions on the attached sheet are met.
- This work as described in this amendment does not appear to meet the Standards for Rehabilitation and is not approved for this property. The attached sheet describes the specific problems with the proposed work.

Secretary to the Design/Development Review Commission _____ Authorized Signature _____ Date _____
See attached sheets



ST.

ST.

Taylor ST

Main ST.

ER

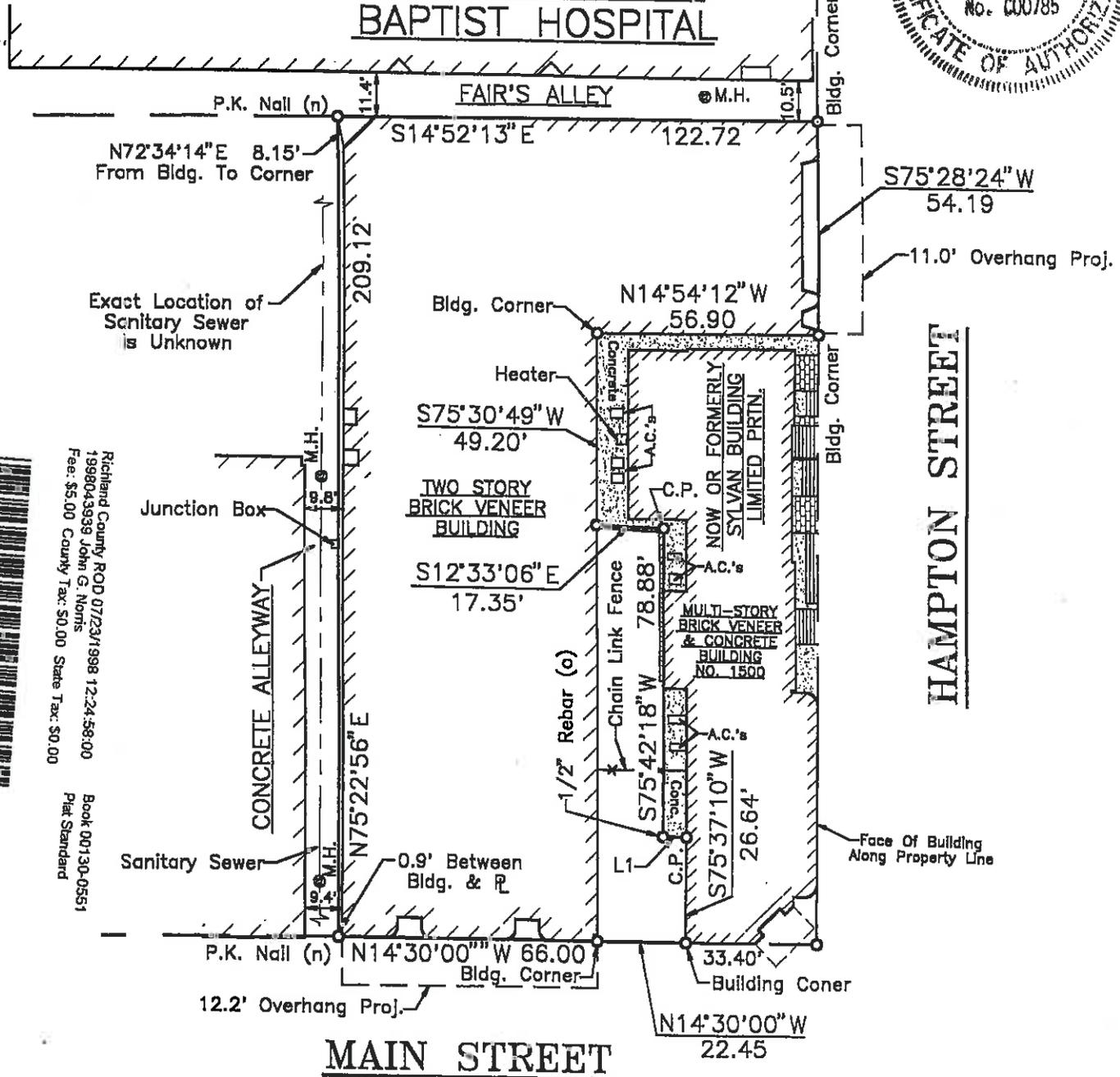
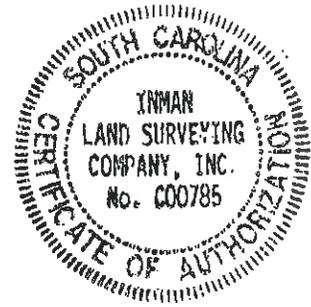
10-01-39-37-1035

1545-47-37-35 - 33-31-29-27 1523-25 1517-15-11-09-07-06-03-01

9-17-13-13-11-07-05-03-01



NOW OR FORMERLY SOUTH CAROLINA BAPTIST HOSPITAL



Richard County ROD 07/23/1998 12:24:58:00
 1998043939 John G. Nobis
 Fee: \$5.00 County Tax: \$0.00 State Tax: \$0.00

Book 00130-0551
 Plat Standard

1 = S14°22'50" E 6.04'

REVISED MARCH 10, 1998
REVISED MAY 25, 1998 TO CHANGE NAME

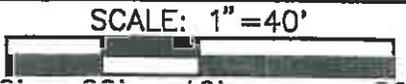
PLAT PREPARED FOR:

CAPITAL PLACES I, LLC

RICHLAND COUNTY, COLUMBIA, SOUTH CAROLINA

DATE: DECEMBER 8, 1997
REVISED MAY 25, 1998

PROJECT NO.: 9711066B



TOTAL AREA = 0.43 ACRE
RATIO OF PRECISION = 1/10,000
AREA BY COORDINATE METHOD

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

Richard D. Inman
 RICHARD D. INMAN, P.L.S. NO. 47785

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY
 NOMINATION FORM

Continuation Sheet

Item Number _____ Page 33

Name Historic Kress Building

Location 1508 Main Street

Common

Classification Building

Owner

Tennessee Ravenwood
 S. H. Kress Company
 1508 Main Street
 Columbia, South Carolina 29201

MARCH 2, 1979

Representation in Existing Surveys

Description Constructed ca. 1934 in the Art Deco style, the Kress Building features a white glazed terra cotta facade, ornamented with colored terra cotta in shades of orange, green, and blue.

First floor has two recessed entrances flanked by rounded storefront windows. Three fluted pilasters are located between windows. A marquee with rounded corners extends the width of the store.

Above the marquee are 8 second story windows and the words "S. H. Kress and Co. 5-10-25 cent store." Third floor has eight 2/2 light windows surmounted by decorative terra cotta trim. Two fluted pilasters rise from second to third floor. Cornice contains the word "Kress" and is surmounted by a stepped parapet that slopes slightly upward to the center. A stylized floral motif caps the center of the parapet.

Continued on back of page.
Significance

Constructed about 1934, the Kress facade is the best example of the Art Deco style on Columbia's Main Street. Characteristic of the style, the Kress Building features glazed and colored terra cotta, stylized floral motifs, and rounded surfaces.

Acreage .23 acre

Verbal Boundary Description TMS 20-11-23; running 66' along Main Street with a side line of 155'

UTM Reference Point Columbia North 17/496720/3762580

Other Information The fifty-year age requirement for National Register status should be waived for the Kress Building for the following reasons:

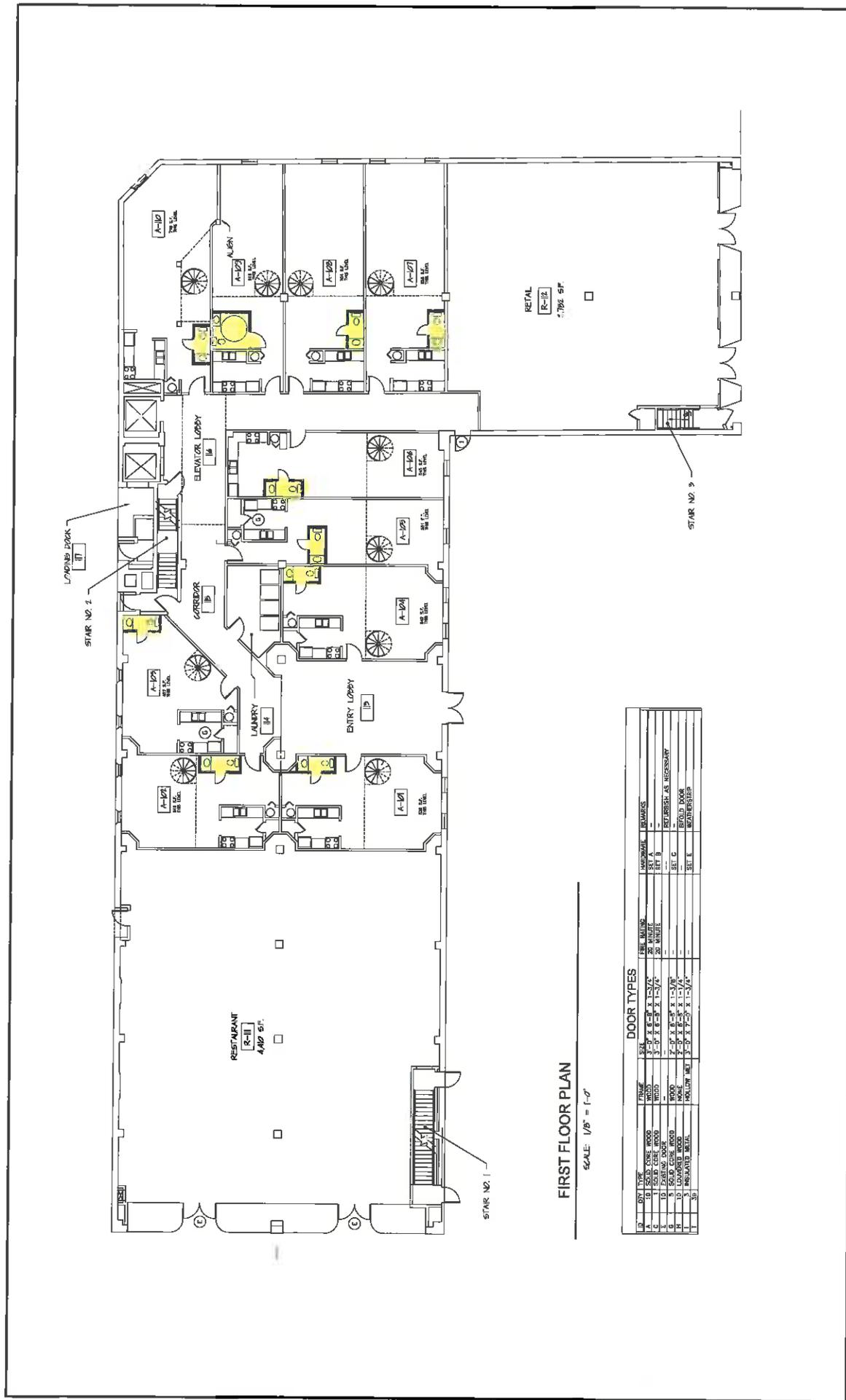
1. It is the best example of the Art Deco style in Columbia and is therefore of exceptional importance as a city landmark;
2. It is one of the key structures on Main Street;
3. It is an integral part of the continuum of Columbia's architectural and historic development.

 Kress Apartment Upgrades 1502 Main Street Columbia, SC		Budget to Owner		
CATEGORY	DESCRIPTION	ESTIMATED COST		
<small>For scope of work from Item 6 and 7 of Processed and subcontractor input</small>		Total	Qualified	Not Qualified
Abatement - Penthouse	Includes allowance for removal of pigeon poop from floors/walls & barriers to block pigeons from entering penthouse.	2,500	2,500	0
Penthouse Expansion	Includes allowance to remove existing equipment, new build out for 2 bedroom apartment with kitchen, 2 bathrooms, and exterior roof top terrace with screening.	184,500	124,500	60,000
Terra Cotta	Includes allowance for terra cotta repairs on building facade.	16,600	16,600	0
Rough Carpentry Allowance	Includes allowance for blocking.	2,500	0	2,500
Millwork Allowance	Includes allowance for unit upgrades for cabinets, countertops, backsplashes & vanities.	42,000	0	42,000
Doors/Frames/Hardware Allowance	Includes allowance for numbers on doors and entry door hardware.	4,650	0	4,650
Flooring Allowance	Includes allowance for flooring in units.	13,582	0	13,582
Common Area Allowance	Includes allowance for flooring and painting 2nd floor common area.	15,000	0	15,000
Trellis Allowance	Includes allowance for design and installation of new trellis with uplighting.	15,700	3,800	11,900
Appliances Allowance	Includes allowance for appliances in stainless steel finish, installation, and final connections.	46,905	4,650	42,255
Dwyer Units Allowance	Includes allowance to replace Dwyer units and re-plumb in apartments 202 & 316.	8,000	2,800	5,200
Half Bath Allowance	Includes allowance for half baths in units on first floor.	36,000	23,500	12,500
BR Conversion Allowance	Includes allowance to convert three 1 BR apt to 2 BR apt.	9,000	2,200	6,800
Lobby	Includes allowance for Lobby furniture/fixtures & Design Fees.	14,825	2,000	12,825
Exterior Metal	Includes allowance to replace metal corner on first floor NW corner.	2,500	2,500	0
Parapet Cap	Includes allowance for parapet cap waterproofing.	6,100	6,100	0
Main Roof	Includes allowance for main roof repairs, drains, and waterproofing.	15,544	15,544	0
Brick	Includes allowance to point up brick in areas other than Penthouse.	7,750	7,750	0
Terrazzo Floors	Includes allowance to restore terrazzo floors.	3,900	3,900	0
Electrical Allowance	Includes allowance for balance of building and 31 apartments for lighting and outlets.	26,000	19,150	6,850
Design Fees	Includes allowance for design fees for building package.	26,500	26,500	0
SUBTOTAL		502,056	285,896	236,082
General Conditions	Includes 3 months temporary toilets, safety, parking fees, and cleaning (daily & final).	5,007	2,653	2,354
Equipment Rental	Includes dumpsters, miscellaneous rentals, small tools.	3,275	1,736	1,540
Management/Supervision	Includes field superintendent, related vehicles/gas/cell phones, and office administrator.	51,169	27,110	24,059
Building Authority Fees	Includes allowance for building review fees and building permit.	3,000	1,589	1,411
Taxes, Insurance & Misc. Fees	Includes material sales tax, payroll taxes, general liability, workers' compensation insurance, business license	26,543	14,063	12,480
Owner Contingency Penthouse	Includes Owner Contingency for Penthouse through design.	34,500	18,278	16,222
Owner Contingency Upgrades	Includes Owner Contingency for Building Upgrades through design.	22,500	11,921	10,579
Mashburn Fee	Overhead and profit	56,352	29,856	26,496
PROJECT GRAND TOTAL		704,403	373,200	331,203

Exclusions
 1. Night or overtime work.
 2. Tap or meter fees.

CURRENT TAX BILL: MARKET VALUE = 1,770,300
 412,900 LAND
 2,183,200 TOTAL

BLOG → 20% to QUALIFY FOR BAILEY BILL
 ON LANDMARKED PROPERTIES
 = 355,460 OF QUALIFIED COSTS NEEDED



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

DOOR TYPES			
NO.	TYPE	FRAME	FINISH
1	GLASS	ALUMINUM	BRASS
2	GLASS	WOOD	BRASS
3	GLASS	WOOD	BRASS
4	GLASS	WOOD	BRASS
5	GLASS	WOOD	BRASS
6	GLASS	WOOD	BRASS
7	GLASS	WOOD	BRASS
8	GLASS	WOOD	BRASS
9	GLASS	WOOD	BRASS
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26	GLASS	WOOD	BRASS
27	GLASS	WOOD	BRASS
28	GLASS	WOOD	BRASS
29	GLASS	WOOD	BRASS
30	GLASS	WOOD	BRASS

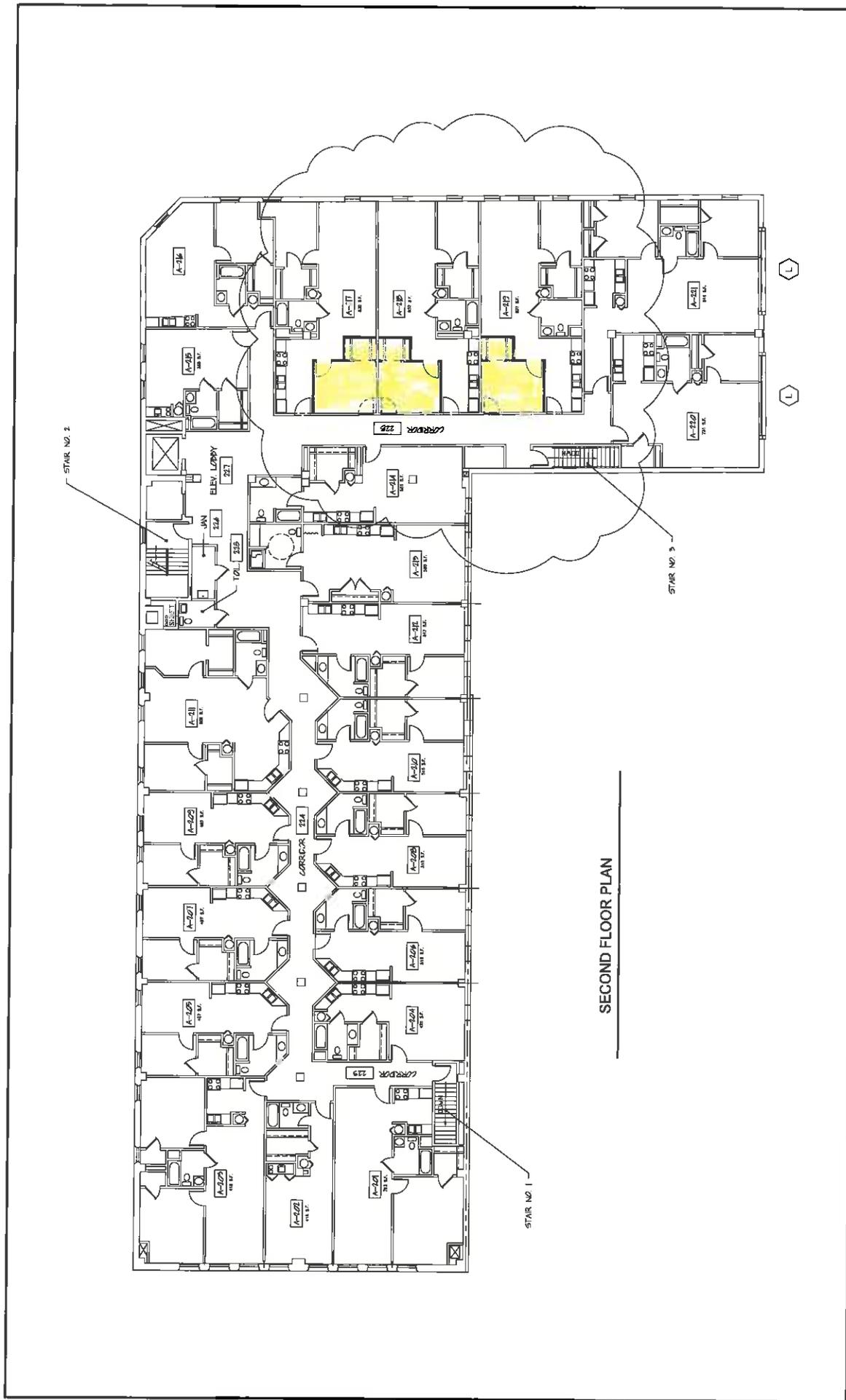
ISSUE DATE: MARCH 31, 1999

REVISIONS:

PROPOSED CONVERSION TO APARTMENTS & RETAIL SPACE
KRESS BUILDING
 1508 MAIN STREET, COLUMBIA, SC

J. LESENE MONTEITH,
 ARCHITECT
 2206 DEVINE STREET
 COLUMBIA, SC 29205

CAPITOL PLACES I, OWNER
 821 AUTUMN CIRCLE
 COLUMBIA, SC 29206



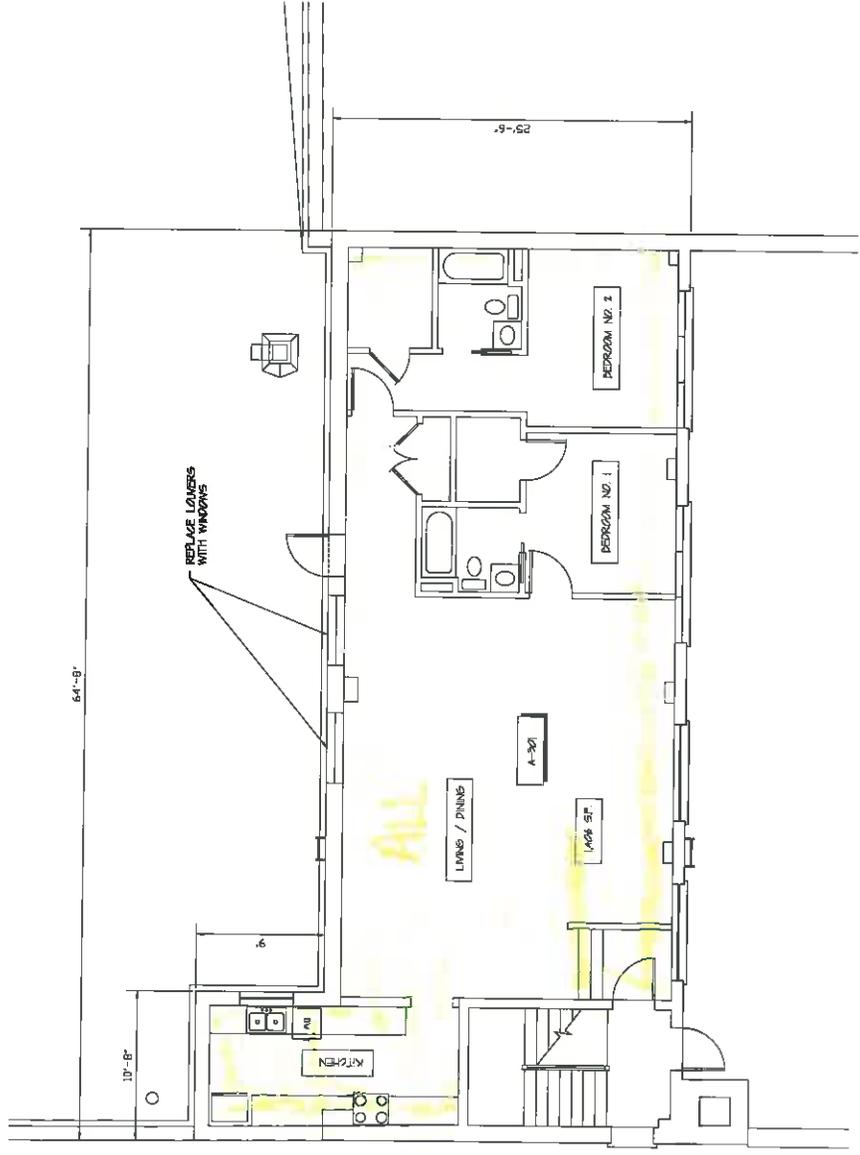
SECOND FLOOR PLAN

ISSUE DATE: MARCH 8, 1979
 REVISIONS:

PROPOSED CONVERSION TO APARTMENTS & RETAIL SPACE
KRESS BUILDING
 1508 MAIN STREET, COLUMBIA, SC

J. LESENE MONTEITH,
 ARCHITECT
 2206 DEVINE STREET
 COLUMBIA, SC 29205

CAPITOL PLACES I, OWNER
 521 AUTUMN CIRCLE
 COLUMBIA, SC 29206



PENTHOUSE FLOOR PLAN

SCALE: 1/4" = 1'-0"

SEE:
A-4
OF 5

ISSUE DATE: JANUARY 11, 2024

REVISIONS:

PROPOSED CONVERSION TO APARTMENTS & RETAIL SPACE
KRESS BUILDING
1508 MAIN STREET, COLUMBIA, SC

J. JESENE MONTEITH, ARCHITECT
1201 HAMPTON STREET, SUITE 1A
COLUMBIA, SC 29201

CAPITOL PLACES I, OWNER
821 AUTUMN CIRCLE
COLUMBIA, SC 29206

**BASELINE DOCUMENTATION PERTAINING TO THE
HISTORIC KRESS BUILDING**

**1508 MAIN STREET, COLUMBIA, SOUTH CAROLINA 29201
(also includes 1217 HAMPTON STREET)**

December 31, 2015

Exhibit A

**Legal Description of Property
1508 Main Street (and 1217 Hampton Street)
Columbia, South Carolina**

Owned by
**Capitol Places I, LLC
1530 Main Street
Columbia, SC 29201**

All that certain piece, parcel or tract of land with improvements thereon, containing 0.39 acre, situate, lying and being on the east side of Main Street in the City of Columbia, County of Richland, State of South Carolina, as shown on a plat for Capitol Places I, LLC dated August 31, 1999, prepared by Inmanland Surveying Company, Inc. last revised November 8, 1999, recorded November 16, 1999 in Book 361 at Page 753, Office of Register of Deeds for Richland County and having according to said plat, the following metes and bounds, to-wit:

Beginning at the intersection of the Eastern edge of the right of way of Main Street and the Northern edge of the right of way of Hampton Street (point of commencement); in Richland County, City of Columbia, State of South Carolina, thence running along the right of way of Main Street N12°30'14"W for a distance of 33.40' to a building corner; thence continuing along the right of way of Main Street N12°45'16"W for a distance of 23.32' to a PK nail (N), the point of beginning; thence continuing along the right of way of Main Street N12°35'35"W for a distance of 66.02' to a PK nail(N); thence turning and running along an 8'4" access, ingress and egress easement for a concrete alley N77°23'30"E for a distance of 209.11' to a PK nail (O), thence turning and running along an 8'4" access, ingress and egress easement for Fair's Alley S13°01'52"E for a distance of 122.70' to a building corner; thence turning and running along the right of way of Hampton Street S77°18'47"W for a distance of 54.19' to a building corner; thence turning and running along property of now or formerly Maoli Consolidated Enterprises N13°04'23"W for a distance of 56.74' to a building corner; thence turning and running along property of now or formerly Maoli Consolidated Enterprises S77°07'34"W for a distance of 49.29' to a building corner; thence continuing along Parcel "A" S77°05'16"W for a distance of 106.07' to the point of beginning.

For Information Only:

This being the same property conveyed to Capitol Places I, LLC by deed of John M. Goodkind and Alice A. Goodkind, as trustees of Goodkind Family Trust under instrument dated April 26, 1991, recorded in Record Book 154 at Page 621 (17.5% undivided interest), by deed of Daniel McLean Goodkind recorded in Record Book 154 at Page 623 (17.5% undivided interest), by deed of Thomas Barrett Goodkind recorded in Record Book 154 at Page 625 (17.5% undivided interest), by deed of Rachel Ann Goodkind recorded in Record Book 154 at Page 627 (17.5% undivided interest), and by deed of Walter Larney Goodkind recorded in Record Book 154 at Page 629 (30% undivided interest), Office of the Register of Deeds for Richland County.

Commonly known as: 1508 Main Street (TMS# 09014-09-18)

Exhibit B

Schedule describing the documents and photographs of selected portions of the Property

1508 Main Street (and 1217 Hampton Street)
Columbia, South Carolina 29201

Baseline Documentation for Preservation Easement Contents:

1. Location, address, and boundaries of the Property;
2. Brief statement of significance of the Property;
3. Description of physical evolution of the Property, noting major additions, alterations;
4. Assessment of condition of Property from visual inspection;
5. Site Plan from tax map or survey;
6. Photographic Record;
7. Department of the Interior National Register of Historic Places Nomination;
8. Aerial Site Maps [Google Maps 2014];
9. Site Survey [29 October 2014].

Location, address and boundaries of the Property

The Property, which forms an L-shape around the building located at the northeast corner of the intersection of Main and Hampton streets in downtown Columbia, South Carolina, carries the addresses of 1508 Main Street and 1217 Hampton Street. The corner building, located to the immediate south of the primary Main Street facade and immediate west of the Hampton Street facade, is the historic Sylvan Building or Central National Bank Building (at 1500 Main Street), which was built circa 1870 and which is considered one of Columbia's most important historic structures. The adjacent property on Main Street was built in 2006 and houses commercial and residential tenants, while the adjacent property on Hampton Street is a parking deck owned by Baptist Hospital. The property's legal boundaries measure 66X209X122.7X54.1X56.7X154.9.

Statement of Significance

Constructed in 1934 by SH Kress & Co for use as a "Five and Dime" department store, the property supplied wares to residents of Columbia for over 6 decades, before eventually succumbing to the same fate as many other Main Street businesses. During the 1960s, it was the site of Civil Rights sit-ins that eventually forced Columbia businesses to integrate, and its historic architectural significance was codified when it was listed in the National Register of Historic Places in 1979. Kress closed its doors in 1995, and the building remained vacant for several years before being purchased by Capitol Places in 1998 and rehabilitated for mixed use commercial and residential units.

Built in the Egyptian Revival expression of the Art Deco style, the Kress Building is a two-story, brick building with an off-white terra cotta façade and a variety of terra cotta ornamentations throughout. At ground level, the building includes rounded storefront windows atop paneled granite knee walls, door handles engraved with the words “In” and “Out”, and pilasters adorned with colorful mosaics that feature lotus blossoms, papyrus and flowers. One of the most prominent features is the painted copper marquee – ornamented with Art Deco-themed metal work – and the copper lettering above that displays the words “Kress” and “SH Kress & Co 5-10-25 Cent Store.” The cornice of the facade features a stepped parapet and a central floral festoon.

Physical Evolution of Property

Arguably the most noticeable component of the building’s evolution was the construction in 1952 of an L-shaped addition that created a secondary entrance on Hampton Street. Built in the International Style, the addition was a drastic stylistic departure from the main, original façade, yet certain architectural elements – such as the store-front windows on granite knee walls and the overhanging marquees – serve to tie together the disparate facades.

Small changes can be observed throughout the building, such as the roll-up door on the north elevation that shows evidence of a larger loading door in the past (see Image XXIX), but the next major stage of evolution came when Capitol Places purchased the property in 1998 and began a full-scale renovation. Many exterior and interior elements were retained and preserved, but certain things – such as many of the first-floor windows – had to be replaced. All of the replacement materials, however, are in keeping with the originals.

Property Condition

The baseline physical inspection of the Property was conducted on 4 December 2014 by Historic Columbia Director of Cultural Resources, John Sherrer, Director of Facilities, Sean Stucker, and Preservation Graduate Assistants, Max Imberman and Robert Olguin. Previously mentioned changes to the structure were noted, as were the following conditions:

West and South Elevations – Main Street façade and courtyard area (adjacent to Sylvan Building)

- Storefront Windows: Historic storefront glazing, with rounded corners at the entryways, is intact and is in good condition (windows were being washed at the time of this inspection). Granite knee walls in good condition, but some mortar joints are failing.
- Entryways and Doors: Historic doors mostly intact and in use, including engraved handles and kick plate mail slots. Significant wear on handles, on kick plates, and on interior stiles. Replacement locks and missing compression arm (closure device) on north doors, broken glass in right-side south door, and duct tape on

tops of doors (for insulation?); discolored, missing, and mismatched tiles in both entryways. Doorway ceilings feature Art Deco detailing and peeling paint.

- Marquee and Signage: Historic marquee intact and in good to fair condition. Abundant Art Deco detailing on both the face and the underside. Some damage to architectural details, especially at the north end (Image VI) and at the southwest corner (Image XII – pierced and deformed keystone), and staining from water and organic material throughout. Lights on underside of marquee appear to have original fixture bases with replacement globes, and the underside also contains the remnant of an awning bar. Copper lettering on the main façade and on the north façade at the corner is all intact and in good condition. Original "Kress" signage currently obscured by "Cowboys Steakhouse" signage.
- Terra Cotta: Terra cotta – both façade and elements – mostly intact, though cracks and small areas of missing masonry can be seen throughout. The façade is etched to give the appearance of stone blocks, and the Egyptian Revival detailing can be seen throughout the entire façade, in particular atop windows and pilasters and within the cornice and parapet.
- Cornice and Parapet: Heavily adorned with relief details. Various designs present in the white terra cotta itself, and, as previously mentioned, Egyptian Revival detailing throughout.
- Windows: Main Street façade historic windows – frames and glazing – intact and in good painted condition; windows are two over two double-hung sashes. Courtyard windows appear to be replacement, but detailing matches Main St windows.
- Courtyard Wall: This wall has 15 bays, all painted red. Stucco present on 12 of 15 bays on the upper section of the façade, and the roof line and form of the non-existent adjacent building can be seen in the form of stucco covering what would have historically been unexposed brick (see Image XIV). Metal lintel above double doors heavily rusted, and embedded nailers (wood nailing blocks) from demolished building are partially rotted and deteriorated. White terra cotta from main façade wraps around to this façade at the top left corner. Alleyway running north to south at the east end of the courtyard connects to Hampton Street; this wall has no detailing or fenestration and appears to be in good condition.

South Elevation – Hampton Street façade

- Storefront and Entryways: Historic storefront intact and functioning. Glazing and knee walls appear to be original, but doors are likely replacement (though in good condition). Form and design of entryway mimics that of the Main St entrance but differs in some details, including a diagonal rather than a curved orientation to the windows and steel rather than copper on doors and between windows. This design

minimalism is in keeping with the International style used for this building. Entry tile is intact and in good condition.

- Marquee and Signage: Marquee is similar in size and in massing to the Main Street marquee but is far more minimal in its design. Materials are metal and plastic, and the affixed lettering is painted a copper color but is not actually copper. Marquee is in good condition, though some damage to metal coping and staining was observed, and the underside of this one also contains the remnants of awning hardware. The neon sign attached to the façade appears in good condition with some staining beneath the letters, though it does not currently illuminate.
- Brick: White brick veneer atop red brick building with very minimal detailing, including one “soldier” belt course above the marquee and a second at the flat cornice of the building; brick is in generally good condition with no obvious damage observed. Dark stone coping atop the cornice appears intact.
- Windows: Second floor windows appear to be replacement, though the openings themselves appear to be original. Windows and sills are in good condition.

North Elevation – loading dock/parking lot and alleyway façade

- General: Northeast corner of building is clipped and contains a single bay 3 floors high; north elevation (parking lot and alley) contains 30 bays with mostly 1st and 3rd floor windows, and the conditions of these bays are as follows:
 - Northeast corner bay – discoloration on second and third floor sills; remnants of roofing sealant oozing from mortar 13 rows down from cornice; second floor window lintel rusted; small amount of paint and/or concrete splatter beneath first floor window
 - 2nd bay – rust on first story window lintel; sill discoloration, and mortar beneath sill is inconsistent with original
 - 3rd bay – black paint splatter on first floor; mortar beneath sill of third floor window is inconsistent with original
 - 4th bay - mortar patches around top of first and second floor windows are inconsistent with original; rusted lintel
 - 5th bay – rusted hood on metal roll-up door; original receiving door bricked in; conduit hole in brick above “Kress” sign; spray painted (white) circle and writing between bricked and roll-up doors.
 - 7th bay – damaged roll up door; slightly deteriorated concrete sills on the second and third floors
 - 8th bay – Portland cement patch on right of concrete lintel of cargo delivery bay
 - 9th bay – Crack in chimney cap or crown (located about midsection)
 - 10th bay – four holes above the pedestrian doorway entrance
 - 12th bay – chipping on the lower left sill of the second story

- 13th bay – rust on the second story lintel (located on the new window socket)
 - 14th bay – original window blackened out; left hand side of the security bars is cut off at the mounting bolt location on the second story
 - 15th bay – original second story concrete sill chipped
 - 17th bay – similar window and security bars issues as 14th bay; brick missing from upper right of the window just under the lintel
 - 18th bay – chipped brick to right of window
 - 19th bay – organic growth out of top five mortar courses
 - 20th bay – vegetation
 - 22nd bay – chipped sill on the second story window; remnants of brick, concrete, and terrazzo flooring at the side entrance
 - 23rd bay - vegetation at the top
 - 29th and 30th bay – northwest corner of the building where the white terra cotta from the Main St façade wraps around; abrasions and chips on the first floor; vegetation growing out of the Kress sign; chips on the second and third floor along the left side; concrete splatter on the granite knee wall course
- Brick: The brick is generally in good condition, with the exception of the damages noted in the previous section.
 - Entryways and Doors: Historic loading dock door bricked up; not clear whether roll-up door is still functional, but it appears in good condition and appears to have its original hardware. Functional doors on this façade (to right of roll-up door and towards west end of façade in alleyway) are modern doors, but the openings are original.
 - Cornice and Roof: Cornice appears to be in good condition with only a few minor areas of damage observed. Roof appears to be in good condition with only a few areas of minor ponding. Some rooftop mechanicals show signs of rust.
 - Windows: Third floor windows appear to be original, while those on the second and first floors appear to be mostly replacement (excepting the window above the roll-top door and the windows on the northwest clipped façade); all are in good condition, with the exception of the damages noted in the “General” section.

East Elevation – driveway façade adjacent to hospital parking deck

- General: East elevation contains 11 bays.
- Brick: Appears in generally good condition. The only damage observed is at the south end of the façade where holes were punctured in the brick for electrical conduit access; this appears to have caused minimal damage and the opening is sealed with a mastic or caulk.
- Windows: first floor and basement windows appear to be replacement, while third floor windows appear to be original; all are in good condition. Concrete sills have

been recoated with a more modern and granular finish than the originals observed on the north elevation. One window near the south end of the façade appears to be an addition, as it does not correspond with the general fenestration pattern on this façade (see Image XXV).

- Cornice: Appears to be in good condition with only a few minor areas of damage observed.

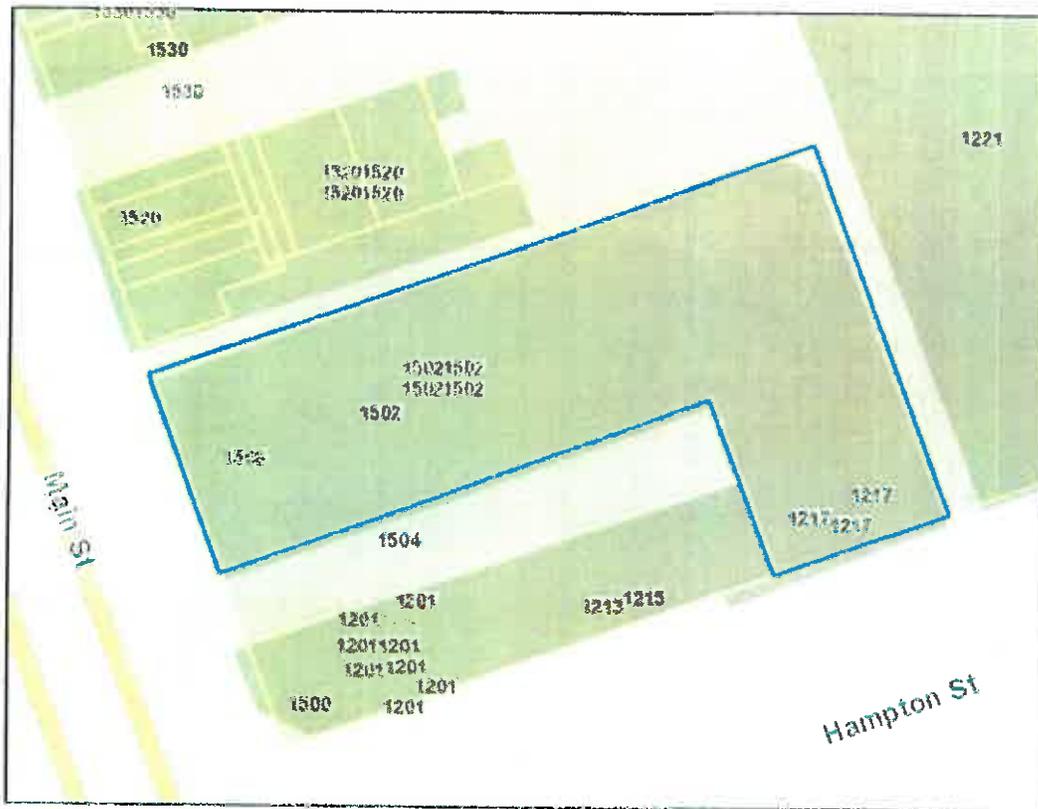
2015 Update Property Condition Inspection:

The update inspection of the Property was conducted on 8 December 2015 by Historic Columbia Director of Facilities, Sean Stucker.

- No noticeable changes or alterations were observed during the inspection.
- No repair work or improvements were done on the Property in the past year.
- No damage that was observed in the baseline inspection has been repaired, nor was any additional damage observed in the update inspection.

Site Plan

The following site plan was derived from the tax map layer found within the GIS mapping services provided by Richland County, located at <http://www3.richlandmaps.com/rcgeoportal/> [note this service of richlandonline.com will be discontinued in Jan 2015]. The Property is outlined in teal.



Photographic Record

The following photographs were taken on 8 and 18 December 2015 by Historic Columbia Marketing Coordinator, Brian Harmon, and Director of Facilities, Sean Stucker, using a Canon EOS Rebel T3 camera fitted with Canon EF-S 18-55mm Image Stabilizer Macro 0.25m/0.8ft and Canon Zoom EF 75-300mm 1:4-5.6 III lenses from various locations at street level and from the top floor of the parking deck at the corner of Hampton and Sumter streets.



Image I

Property overview, illustrating façade ornamentation and fenestration.

Image II

Second bay (north entrance) of Property, illustrating storefront glass, granite knee walls, tiled entry, and metal doors. Note mismatched entryway tile.



Image III Detail of entry doors, with engraved signage.



Image IV

Detail of mail slot in double doors located within first bay of Property. Note corrosion of finish.



Image V

Detail image of pilaster at south end of the façade. Note the Egyptian Revival motifs, including flowers, lotus blossoms, and papyrus. Cracking in terra cotta also evident.



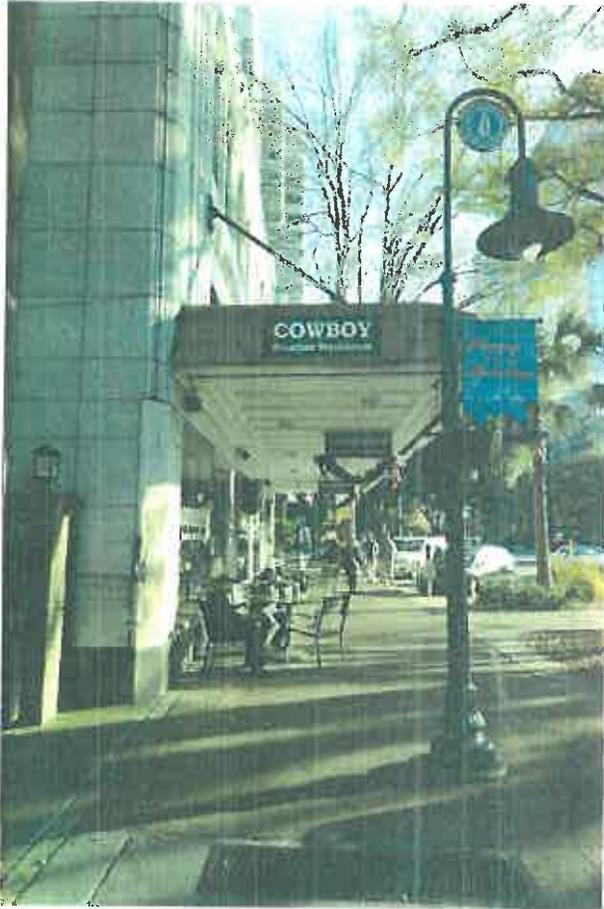


Image VI
Overview of ground level and of painted copper marquee. Note staining and damage to detailing on marquee., as well as current tenant sign obscuring original business sign.

Image VII
Detail of northwest corner, featuring secondary "Kress" sign. Note damage to façade, including missing chunks of masonry and cracks spanning over 4 feet in length.

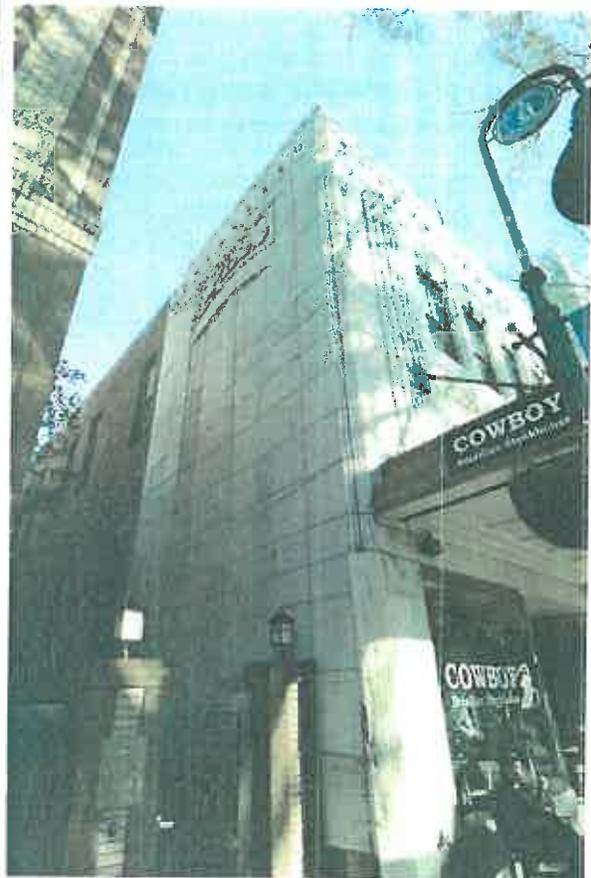


Image VIII

Detail of central portion of façade, featuring the primary “Kress” sign. Note intact detailing, but also note pockmarks and staining on façade.

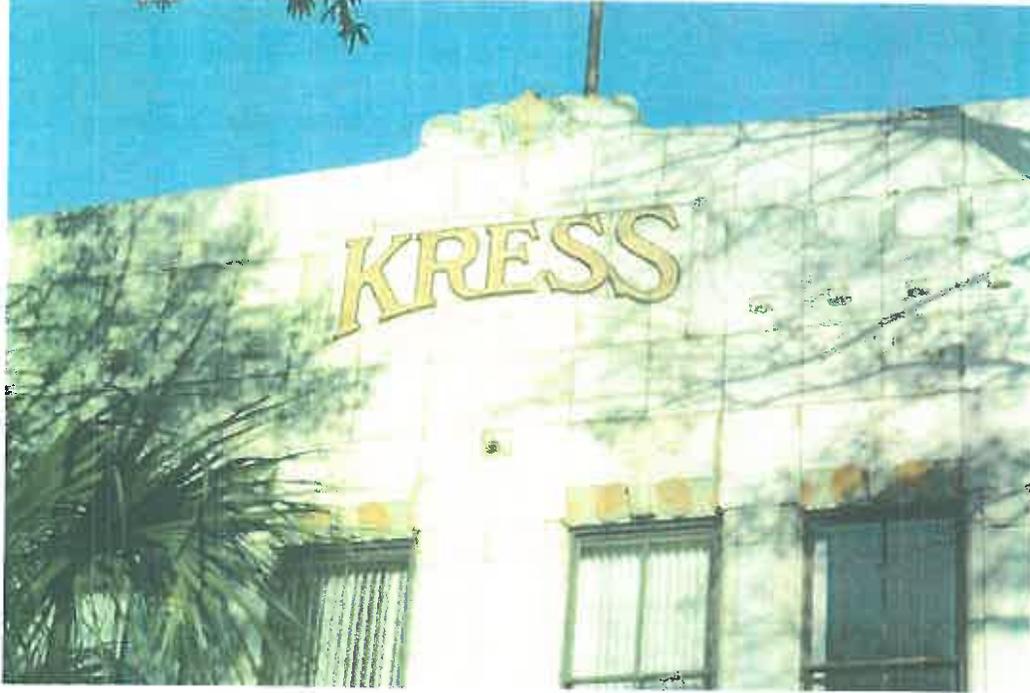


Image IX

Detail of sub-sign and of copper painted marquee. Note undamaged appearance of copper letters, but also note rust and staining on marquee.





Image X
Detail of southwest second-story corner. Note the variety and placement of Egyptian Revival detailing, but also note significant cracks and other façade damage.

Image XI

Detail of cornice and of second-story façade. Note damage to terra cotta and organic growth in the form of a small tree emerging at the parapet (seen at top middle section of picture).



Image XII

Detail of north end of painted copper marquee. Note Art Deco detailing, but also note bent and damaged metal, as well as staining from organic matter.

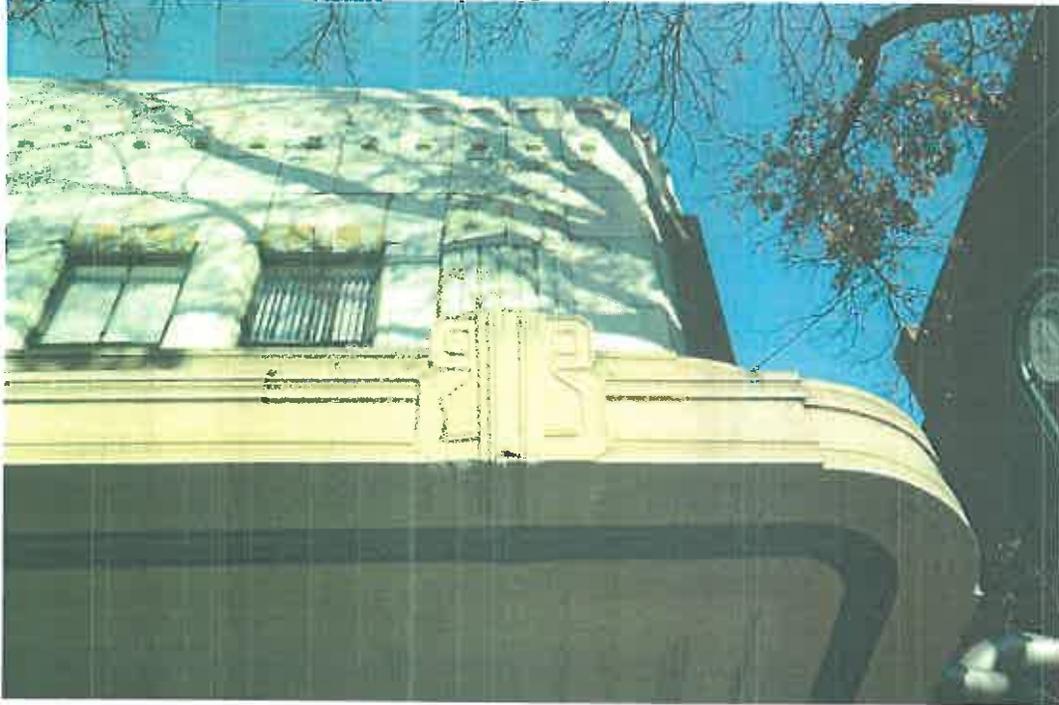


Image XIII

Detail of south corner of painted copper marquee showing Art Deco-style fluting. Note damage to and staining on finish.





Image XIV
South-facing courtyard façade,
showing the red painted brick
wall and the stucco “shadow”
of the demolished adjacent
building.

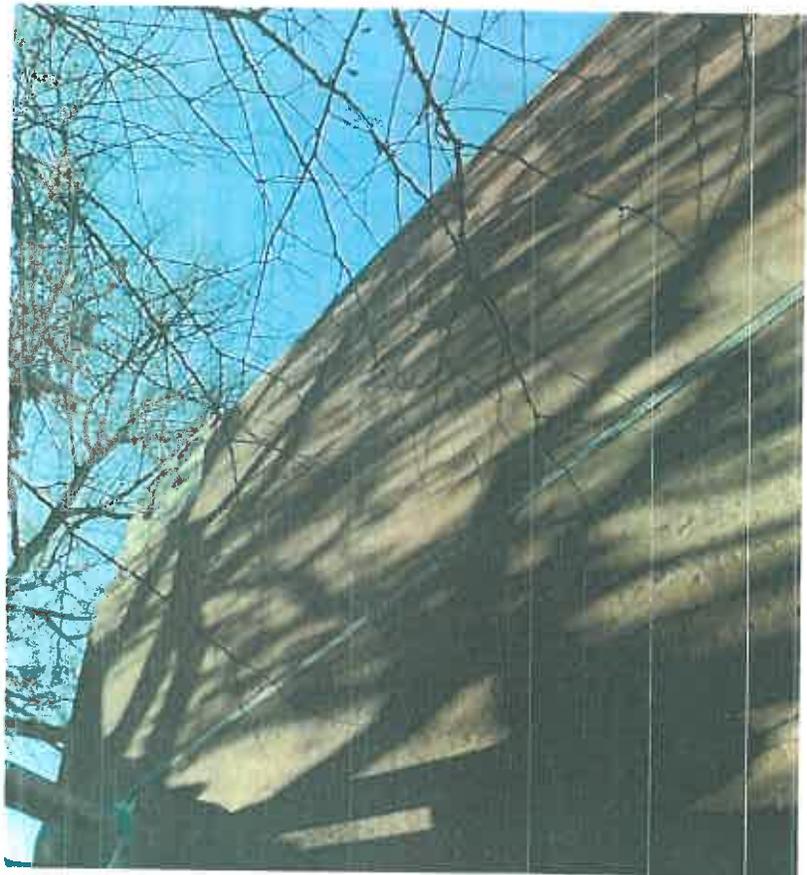


Image XV
Detail of upper section of wall
with finished stucco coat and
white terra cotta wrapping
around from the Main St
façade. Note the water stains.

Image XVI

Detail of wall and windows, showing the unfinished stucco and the replacement windows designed to match the originals elsewhere on the building.



Image XVII

Detail image of wall showing deteriorated embedded wood nailer blocks and roofline of demolished building.



Image XVIII
Alleyway running north to south between Kress and Sylvan buildings and connecting to Hampton Street.

Image XIX
Overview of (secondary) Hampton Street façade, illustrating façade ornamentation, materials, and fenestration.





Image XX
Alleyway depicted in Image XVIII shot from Hampton Street. Note the extremely close orientation of one building to the other.

Image XXI
Detail of non-functioning, wall-mounted "Kress" sign.

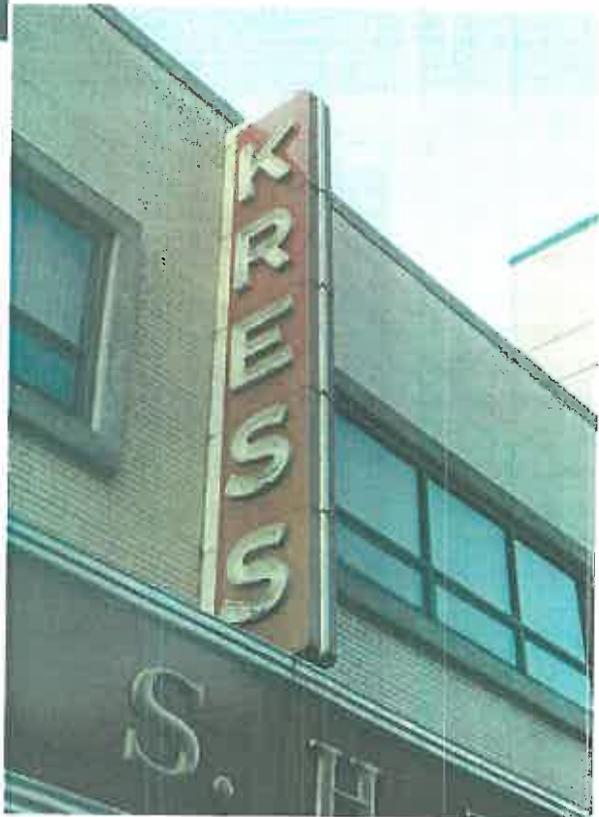


Image XXII

Detail of east side Hampton Street entryway, illustrating materials and design that are similar, though more minimalist by comparison, to the main façade.



Image XXIII

Detail of marquee, showing damage to the underside coping and remnants of an old awning system.



Image XXIV

Detail of damage resulting from the conduit entry point at the southeast corner of the building (at the entry point of the driveway between the building and the hospital parking deck).



Image XXV

Detail of windows on the east (driveway) façade; all appear to be replacement windows and the window on the left appears to have been added at a later date.



Image XXVI
Overview of building and roof taken from
the hospital parking deck.



Image XXVII
Alternate
overview of
building and
roof taken from
the hospital
parking deck.



Image XXVIII
Detail of bricked loading dock door and historic "Kress" sign.

Image XXIX
Roll-up metal door with ghost lines of a larger historic loading door that was bricked in.





Image XXX
Handwritten sign on the wall to the left of the roll-up door.

Image XXXI
Concrete splatter (likely from sidewalk laying) on the granite kneewall at the northwest corner of the building.



Image XXXII
Detail of alleyway door; the door itself is modern, but the opening is original.

Department of the Interior National Register of Historic Places Nomination

Form No. 10-300a
(Rev. 10-74)

UNITED STATES DEPARTMENT OF THE INTERIOR

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY
NOMINATION FORM

RECEIVED
NOV 1982
NATIONAL REGISTER

Continuation Sheet _____ Item Number _____ Page 33

Name Historic Kress Building Location 1508 Main Street

Common _____ Classification Building

Owner Tennessee Ravenwood
S. H. Kress Company
1508 Main Street
Columbia, South Carolina 29201

Representation in Existing Surveys

Description Constructed ca. 1934 in the Art Deco style, the Kress Building features a white glazed terra cotta facade, ornamented with colored terra cotta in shades of orange, green, and blue.

First floor has two recessed entrances flanked by rounded storefront windows. Three fluted pilasters are located between windows. A marquee with rounded corners extends the width of the store.

Above the marquee are 8 second story windows and the words "S. H. Kress and Co. 5-10-25 cent store." Third floor has eight 2/2 light windows surmounted by decorative terra cotta trim. Two fluted pilasters rise from second to third floor. Cornice contains the word "Kress" and is surmounted by a stepped parapet that slopes slightly upward to the center. A stylized floral motif caps the center of the parapet.

Continued on back of page.

Significance

Constructed about 1934, the Kress facade is the best example of the Art Deco style on Columbia's Main Street. Characteristic of the style, the Kress Building features glazed and colored terra cotta, stylized floral motifs, and rounded surfaces.

Acreage .23 acre

Verbal Boundary Description TMS 20-11-23; running 66' along Main Street with a side line of 155'

UTM Reference Point Columbia North 17/496720/3762580

Other Information The fifty-year age requirement for National Register status should be waived for the Kress Building for the following reasons:

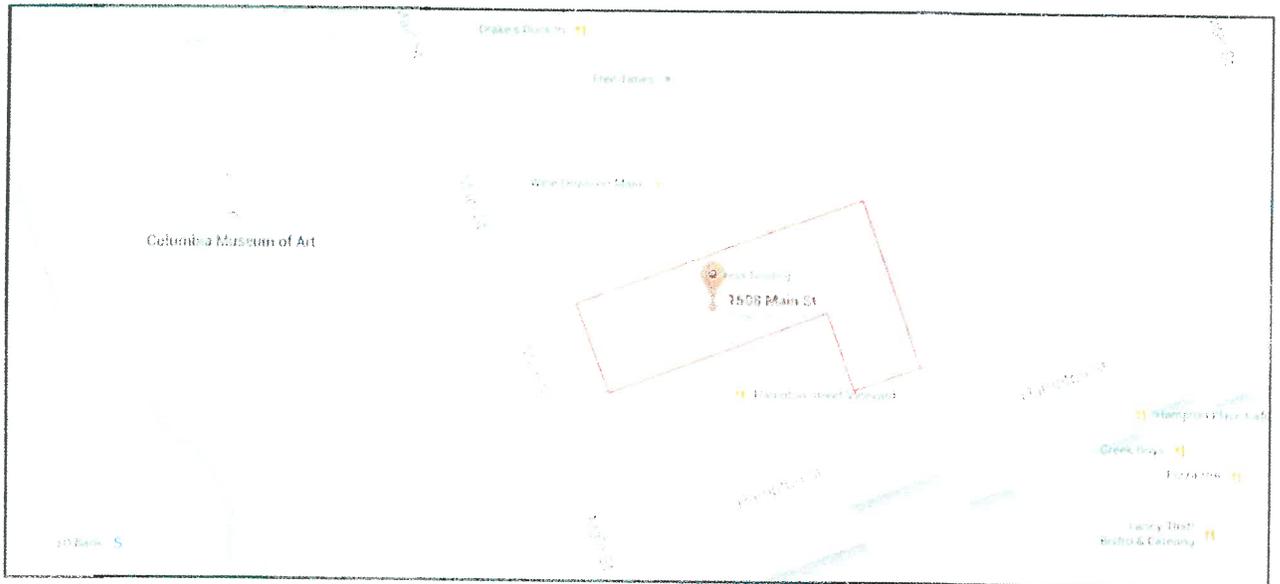
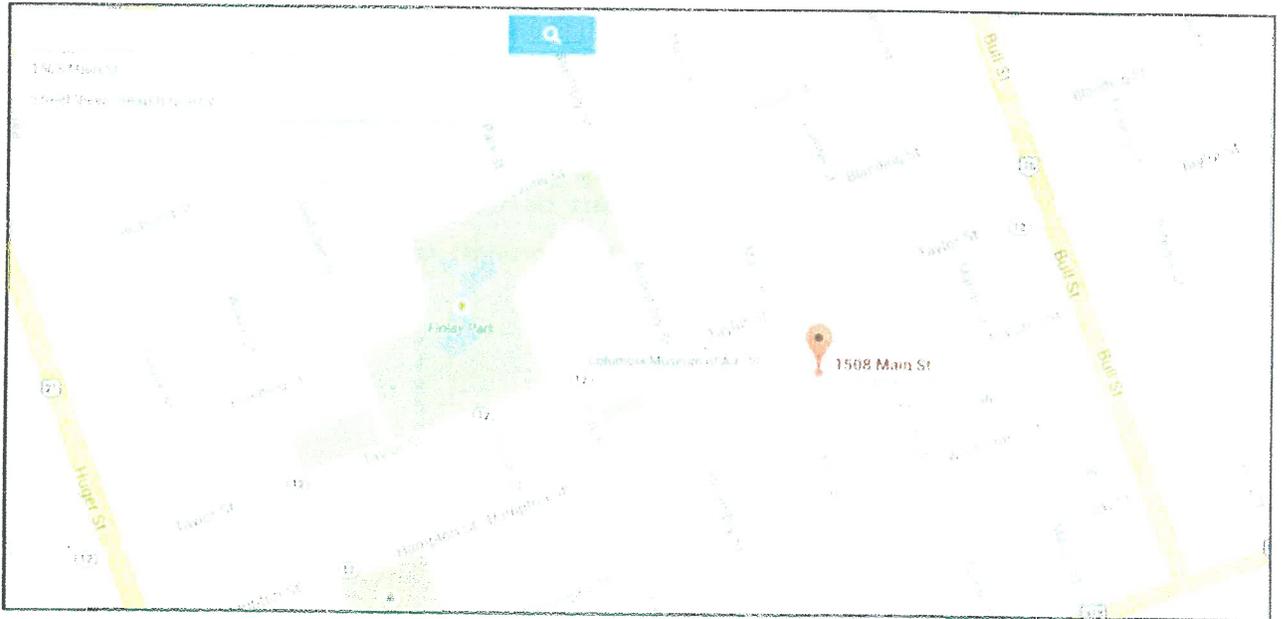
1. It is the best example of the Art Deco style in Columbia and is therefore of exceptional importance as a city landmark;
2. It is one of the key structures on Main Street;
3. It is an integral part of the continuum of Columbia's architectural and historic development.

Description continued

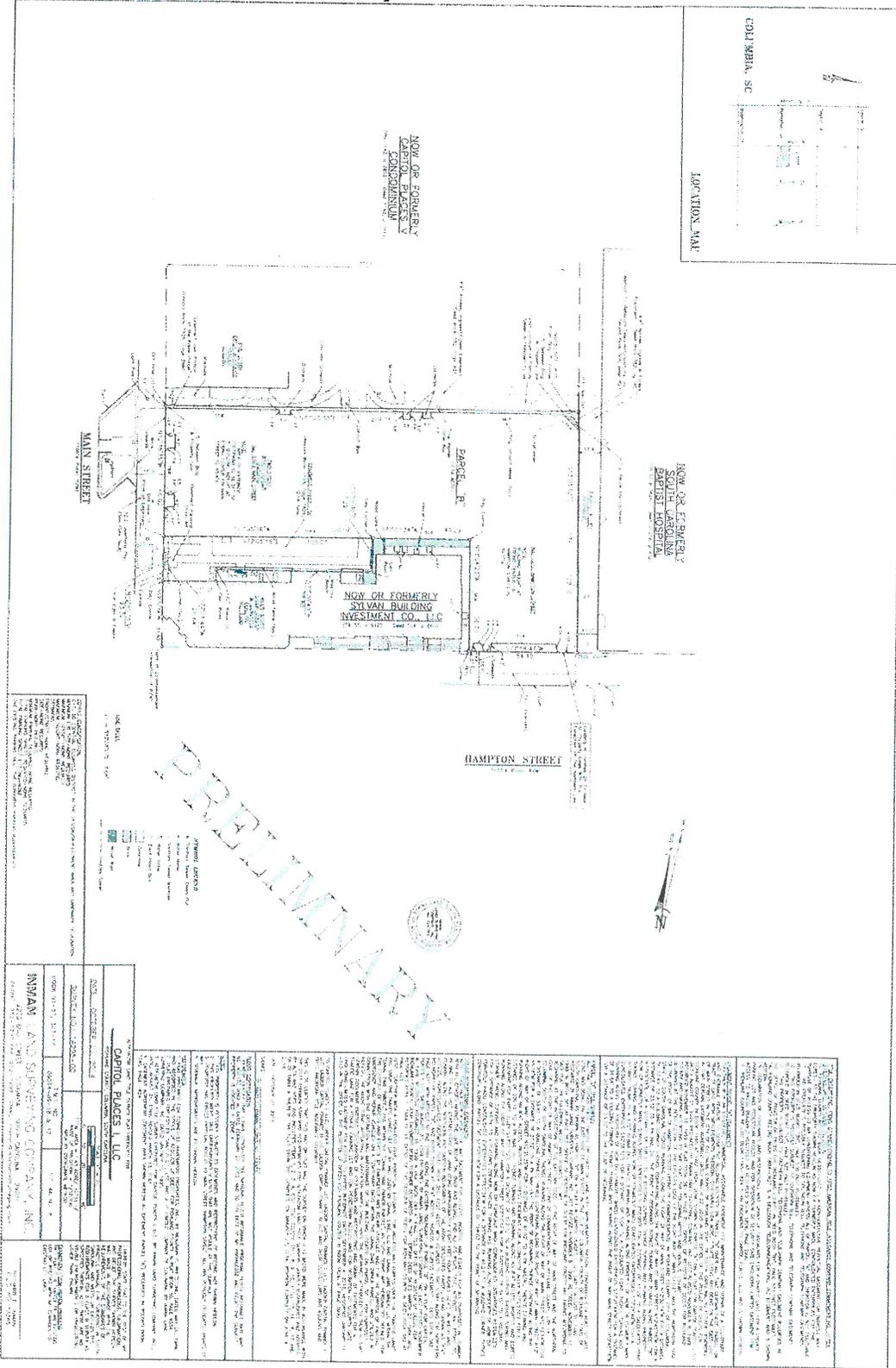
Projecting vertical sign ("Kress") appears to be the only exterior alteration. Interior of first floor retains original appearance. Paneled ceiling has a chevron motif. Nine freestanding columns extend the length of the room. The octagonal columns on high pedestals have art deco capitals and similar decorative work on ceiling space around capitals.

A later addition which is in keeping with the original design gives the store an L-shaped configuration.

Aerial Site Maps [Google Maps 2014]



Site Survey [29 October 2014]



DATE: 29 OCTOBER 2014
PROJECT: CAPITOL PLACES I LLC
CLIENT: NIMMAN LAND SURVEYING COMPANY, INC.
PROJECT LOCATION: 1000 N. MAIN STREET, COLUMBIA, SC 29201
PROJECT NO.: 14-001
SCALE: AS SHOWN
PROJECTED DATE: 2014

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY SURVEY	29 OCT 2014	J. W. NIMMAN
2	FINAL SURVEY		

STATEMENT OF WORK:
 The purpose of this survey is to determine the boundaries and area of the property described in the plat. The survey was conducted in accordance with the standards and practices of the Surveying and Mapping profession in South Carolina. The survey was performed using a total station and GPS receiver. The survey data was processed using the least squares method. The survey results are shown on this plat. The survey was completed on 29 October 2014. The survey was performed by J. W. Nimman, a Licensed Professional Surveyor in the State of South Carolina. The survey was performed in accordance with the standards and practices of the Surveying and Mapping profession in South Carolina. The survey was performed using a total station and GPS receiver. The survey data was processed using the least squares method. The survey results are shown on this plat. The survey was completed on 29 October 2014. The survey was performed by J. W. Nimman, a Licensed Professional Surveyor in the State of South Carolina.

Exhibit C

The Secretary of the Interior's Standards for Rehabilitation

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.