

02/21/2013

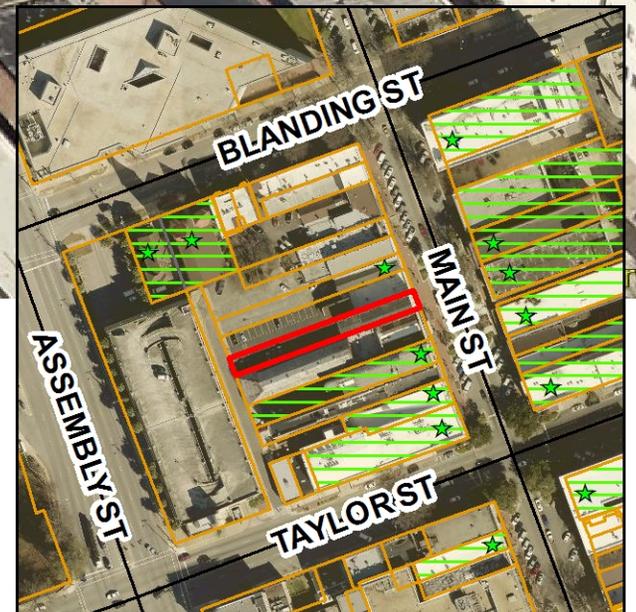


D/DRC Case

1625 Main Street

National Register District/City Center Design/Development District

TMS: 09014-10-12



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
CONSENT AGENDA
EVALUATION SHEET
Case # 4

ADDRESS: 1625 Main Street, Marks Building

APPLICANT: Lambert Architecture and Construction Services,
Scott Lambert, agent

TAX MAP REFERENCE: TMS# 09014-10-11

USE OF PROPERTY: Commercial/Residential

REVIEW DISTRICT: Columbia Commercial District (National Register District)
City Center/Design Development District

NATURE OF REQUEST: Request for Certificate of Design Approval for exterior changes and for preliminary certification for the Bailey Bill

FINDINGS/COMMENTS:

The building located at 1625 Main Street was built in 1866 for Columbia's *The Daily Phoenix* newspaper. The newspaper, which ran from 1865 to 1878, began as a reaction to the destruction of Columbia in the Civil War and reported regularly on the city's reconstruction. In 1866, the *Phoenix* reported its own intention of building an office on Main Street that would be "an ornament to the street". Soon after, 1625 Main Street was completed as a three story brick building with a stucco façade to house the newspaper's offices and press. Since *The Daily Phoenix* the building has housed a number of tenants including a grocery, boarding house, bank, and clothing stores.

The earliest depiction of the building is a drawing included as part of an advertisement for *The Daily Phoenix*. This drawing, ca. 1868, along with an early photograph, ca. 1880s, gives the best information regarding the building's original façade design. These images show the three story building with a tall parapet and prominent bracketed cornice, a second floor balcony with a decorative balustrade, and a storefront with three openings in line with the windows above. The building has undergone a number of alterations throughout the years that have significantly changed the façade such as recessing the storefront and removing the decorative balustrade and cornice.

The applicant is proposing to renovate the building for use as a restaurant on the first floor and apartments on the second and third floors. This project will be completed in conjunction with the Robinson Building (1621 Main Street) to its south. Although these buildings are tied together, they are reviewed separately here. The proposal for 1625 Main Street is to rehabilitate the building's façade to its original 1866 appearance. This work will include reconstructing the second floor balcony and bracketed cornice as well as reconfiguring the storefront. Other alterations include uncovering and restoring windows, reapplying stucco to the façade, and repointing and repairing brick. As this building is a

contributing property within the National Register Columbia Commercial Historic District, it is eligible for consideration of the Bailey Bill. The owners are also pursuing tax credits so the applicant and the City staff are working closely with the State Historic Preservation Office on this project. Should any additional site requirements, signage, or similar work arise, it will be reviewed per the City Center Design guidelines.

PERTINENT SECTIONS FROM THE GUIDELINES:

Bailey Bill Sec. 17-698. - Eligible rehabilitation.

(a) Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

- (1) The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.*

Façade: No historic features will be removed. The building will be restored to its historic 1866 appearance which will involve replicating the original balcony and cornice as well as reconfiguring the storefront. The windows currently on the Main Street façade are not historic and will be replaced with wooden windows to match the design and proportions of the original windows. The window along the second floor will be fixed to prevent access to the balcony. All windows will use non-tinted glass to be reviewed by staff. Other details such as the stucco and the second story window pediments will be restored to their original appearance.

Other Elevations: At some point the windows were covered over with plywood and/or metal and are now damaged. These windows should be repaired but if the windows are found by staff to be too deteriorated for repair, replacement wooden windows that match the original in design and pane configuration will be used.

Repairs or replacement of the brick will match the original in color and texture and repointing will match the original in color, composition, and tooling.

- (2) Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.*

No changes are proposed which would create a false sense of historical development.

- (3) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

The period of significance for 1625 Main Street is during its run as *The Daily Phoenix* office in the 1860s and 1870s. The façade will be returned to this historic appearance.

- (4) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.*

Not applicable.

- (5) Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Deteriorated or damaged historic features such as the brick or windows will be repaired rather than replaced. If replacement is deemed necessary by staff the new will match the old in design, color, texture, material, etc. The replacement of features on the façade will be substantiated by pictorial evidence and will be fabricated to replicate the original design as closely as possible. These features include but are not limited to the balcony, cornice, window trim and proportions, and the storefront configuration and setback. The entryways currently proposed will likely be required by code to be recessed further so that they will not interfere with the public right-of-way. This setback will alter the current design of the storefront but will likely be more in keeping with the historic entryways as seen in photos. Staff is working with the applicant on these details and is happy to handle this if the DDRC wishes to defer this to staff.

- (6) *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

The brick will be cleaned using the gentlest means possible using water and a mild detergent. Test patches will be used to ensure the cleaning process will not damage the brick.

- (7) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.*

Exterior alterations will respect the historic characteristics of the building. The applicant has proposed an elevator and a patio to be placed at the rear of the property. Staff will work with the applicant and review the design to ensure that these features will not interfere with any historic material.

- (8) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Not applicable.

The above items are the parameters for review for projects that receive the Bailey Bill. All above criteria will be met in this project. If any future work is proposed beyond the scope of what is presented here then it will be reviewed.

STAFF RECOMMENDATIONS:

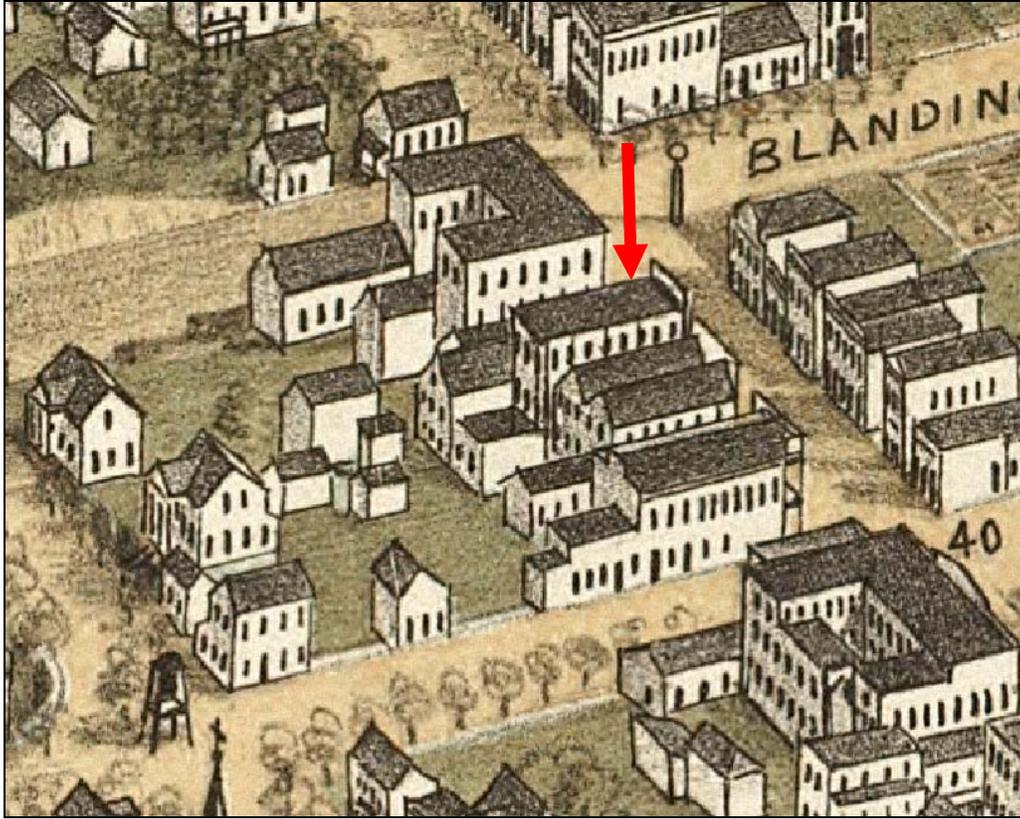
Staff recommends granting a Certificate of Design Approval and preliminary certification for the Bailey Bill for 1625 Main Street based on its conformance with Sec. 17-698(d) of the City Ordinance with the following conditions:

- Staff to work with applicant on the design of all façade details, including but not limited to the balcony, cornice, window trim and proportions, and the storefront configuration and setback;
- The window materials and profiles to be reviewed by staff prior to purchase;
- Cleaning and repairs to the brick and mortar to be reviewed by staff;

- The project shall meet or exceed the 20% investment threshold requirement for qualified rehabilitation expenses;
- All work shall meet the standards for work as outlined in Section 17-698;
- All details deferred to staff.



Marks (right) and Robinson Buildings



1872 Birds Eye Map of Columbia, 1625 Main street indicated with arrow



Drawing of 1625 Main Street, 1868

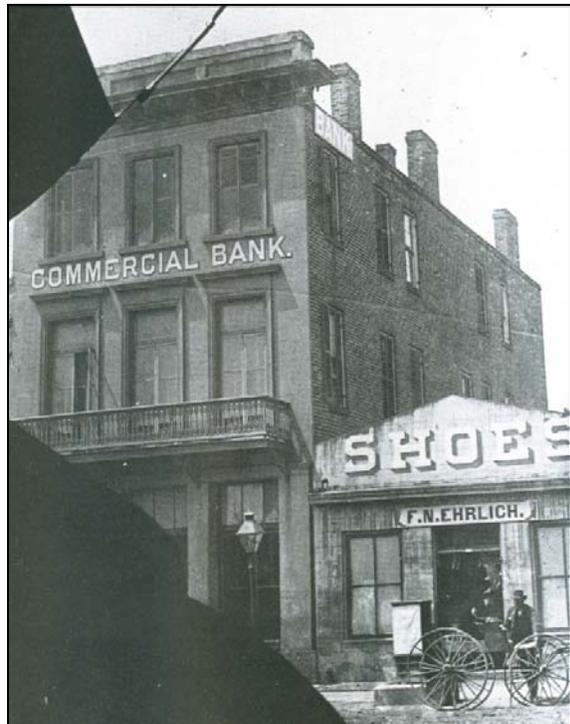


Photo of 1625 Main Street, likely 1880s

CITY OF COLUMBIA
PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - PRELIMINARY REVIEW FORM

This application is used by the City to review rehabilitation work on historic properties, in accordance with South Carolina 1976 Code Section _____, and pertinent regulations. A separate application should be submitted for each historic building, unless they were functionally-related during the historic period, in which case they can be submitted as a historic complex. Applications must include attachments as listed below and the required review fee to be considered complete. Submit application to Preservation Planning Office, PO Box 147, 1136 Washington Street, Columbia, SC 29217. Phone: 803.545.3222; fax: 803.733.8647.

1. PROPERTY INFORMATION

Historic Name of Property (if known) 1625 Main Street - Mark's (1866)
Address 1625 Main Street
City Columbia, South Carolina (ZIP) 29201
Use: Owner-occupied, or Income-producing
Estimated project start date 10/16 Estimated project completion date 10/17
Estimated project costs \$ 1,819,200.00
Fair market value of building \$ 700,000.00
Has an application for federal Investment Tax Credits been filed for this property? Yes No

2. HISTORIC DESIGNATION

The property must have been designated "historic" by the local government allowing this incentive.

Significance:

Construction Date: 1866 Describe major alterations or additions (give dates): Storefront entry, windows with wooden trim, balcony returned to original construction appearance and a detailed cornice.

This building is a:

City Landmark Building Contributing structure in local historic district Contributing structure in National Register District outside of City National Register structure

Give BRIEF overview of the history of the building: _____

This three story building was built in 1866 for the Daily Phoenix newspaper. The building features a tall cornice, three windows with transoms and balconettes on the second story. While the building has been simplified, including the removal of its heavy cornice and second story balcony and the alteration of the first floor storefront to a more modern, recessed entry, it retains much of its original 1866 design.

3. ATTACHMENTS

The following information is needed to process your application. Please send complete information with the initial submission:

- An original signed and completed application;
- A Cashier's Check for \$150, made out to the City of Columbia for single family residences or duplexes; \$300 for all other properties;
- Location map showing where the building is located;
- Photographs clearly showing not only the areas to be rehabilitated, but also overall views of the building;
- Sketched or architectural floor plans of pre-rehabilitation conditions; and
- Sketched or architectural floor plans of the proposed work.

4. OWNER INFORMATION

Name G. Scott Middleton Signature 
Address 1624 Main Street Date 8-9-16
Columbia, SC 29201 Daytime Telephone 803-730-9495

PRESERVATION PLANNING OFFICE USE ONLY

- The work as described in this application and attachments appears to meet the Standards for Rehabilitation and would receive final approval if completed as described.
- The work as described in this application and attachments would meet the Standards for Rehabilitation if the Special Conditions on the attached sheet are met.
- The work as described in this application and attachments does not appear to meet the Standards for Rehabilitation and is not approved for this property. The attached sheet describes the specific problems with the proposed work.

Authorized Signature _____ Date _____
 See attached sheets

CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

<p>Architectural feature <u>Site</u> Approximate date of feature <u>1872- Present</u> Describe feature and its condition The 3 story Mark's Building is located in the 1600 block between Taylor and Blanding Streets in downtown Columbia, South Carolina. The main facade faces Main Street. There are a few non-contributing modifications that were added over the years including a wooden addition to the Third floor on the south, rear side of the building and an updated storefront with a recessed store display area that has been utilized by the retail space since the 1970's. Photograph No. <u>1-2</u> Drawing No. <u>C1.1</u></p>	<p>Describe work and impact on feature All portions of the historical building will remain and will be repaired if necessary. The non-contributing modifications of the existing building will be removed such as the wooden addition to the third floor and changes to the storefront that were made in the 1970s. Older images of the Mark's building show the front facade of the building with tall double doors aligned with the windows above.</p>
<p>Architectural feature <u>Site at Rear of Building</u> Approximate date of feature <u>1872- Present</u> Describe feature and its condition The existing site at the rear of the building is currently being utilized as a parking lot. From this parking lot you can access the 1st floor of the Mark's building and between Mark's Building and Robinson Building (1619 - 1621 Main Street) is a gated private stair to access the second floor of the Mark's building. Photograph No. <u>2</u> Drawing No. <u>C1.1</u></p>	<p>Describe work and impact on feature In the proposed plans, the rear of the building will have parking and a landscaped patio. The patio will include hardscaping with stamped concrete and a 6'-0" fence for privacy and security. There are also plans for a detached elevator addition that connects back to the Mark's building at each level by way of a balcony addition to the southern side of the building at the 2nd and 3rd floor.</p>
<p>Architectural feature <u>Facade Details</u> Approximate date of feature <u>1872- Present</u> Describe feature and its condition The exterior, Main Street facade is plaster on masonry. The historic building accents from images consist of a decorative cornice, wood trimmed windows, and a balcony with cast iron or wooden decorative railings. The original first floor windows and entry were altered around the 1970s to have a recessed storefront and the balcony was renovated into small overhang over the entry. At some point the cornice and window trim were removed. Photograph No. <u>3-7, 13</u> Drawing No. <u>A4.1-4.4</u></p>	<p>Describe work and impact on feature It is proposed to restore the facade to the appearance during the period of significance. The key elements that will be added back to the building are a decorative cornice, wood trim framed windows and storefront with 3 large punched openings in line with the windows above. Other key elements that will be added back to the building are a refurbished plaster exterior and a balcony with wooden or case iron railing to match the historic imagery.</p>
<p>Architectural feature <u>Brick</u> Approximate date of feature <u>1872, 1910</u> Describe feature and its condition The three side of the original building that do not face Main Street are constructed of common running bond pattern of red brick and grey mortar and is generally in good condition. There are rowlock sills at each window location. Photograph No. <u>2, 5-7</u> Drawing No. <u>A4.1-4.4</u></p>	<p>Describe work and impact on feature The exterior brick is in good condition with some re-pointing required. Where re-pointing is in needed, it will be done so in accordance with Preservation Briefs #2. All repairs to damaged brick areas will utilize salvaged, matching brick where possible or new brick will be selected in an effort to match existing adjacent conditions found. Brick will be carefully cleaned in accordance with Preservation Briefs #1 and #6. Cleaning will be with water and approved products such as Sure Klean (ProSoCo) or an equivalent product. Test patches will be approved before the complete cleaning begins.</p>

CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

<p>Architectural feature <u>Windows</u> Approximate date of feature <u>1872, 1910, 1970's-Present</u> Describe feature and its condition The original building had large double hung windows with center bars and wood trimmed detailing on the interior and exterior of the building. The first and second floor have a transom above each window.</p> <p>Photograph No. <u>11-12</u> Drawing No. <u>A4.1-4.4, 7.2</u></p>	<p>Describe work and impact on feature The original windows on the building were covered in corrugated metal and/or plywood. Seen from the interior of the building, many of the windows are not operable and have broken or no glass left in them. These windows will be uncovered and replaced to match the original window design.</p>
<p>Architectural feature <u>Roof</u> Approximate date of feature <u>1872, 1910, 1970's-Present</u> Describe feature and its condition Existing Roof is a TPO roof that looks to be in good condition.</p> <p>Photograph No. <u>9-10</u> Drawing No. <u>A1.4</u></p>	<p>Describe work and impact on feature New insulation to be installed under the existing roof as necessary.</p>
<p>Architectural feature <u>Vertical Circulation</u> Approximate date of feature <u>1872, 1910, 1970's-Present</u> Describe feature and its condition There are existing interior wooden stairs that are in relatively good condition. An exterior metal stair connects the 2nd floor with the rear parking lot</p> <p>Photograph No. <u>22-25</u> Drawing No. <u>A1.1, A1.2</u></p>	<p>Describe work and impact on feature The existing interior wood stairs are to remain and to be brought up to code as needed. A new elevator addition will be added to the rear of the building to allow for ADA Access. It will be connected to the existing structure via a breezeway between the Marks and Robinson buildings to an entrance the south elevation of each floor. The metal stair in the back is almost completely rusted out. It will be removed and a new stair added that also connects to the second floor breezeway.</p>
<p>Architectural feature <u>Doors</u> Approximate date of feature <u>1872, 1910, 1970's-Present</u> Describe feature and its condition Several interior wood doors remain</p> <p>Photograph No. <u>26</u> Drawing No. <u>A1.1, A7.1</u></p>	<p>Describe work and impact on feature Existing interior doors that are within the period of significance will be refurbished and repaired as necessary. New wood doors and hardware will be added as necessary and designed to match the existing</p>

**Fair market value means the appraised value as certified to the DDRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.*

CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

Architectural feature <u>Ceilings</u> Approximate date of feature <u>1872, 1910, 1970's-Present</u> Describe feature and its condition The front portion of the first floor is a plaster ceiling. In the rear, some tin ceiling still exists. The remainder of the building is all plaster ceilings Photograph No. <u>15, 20-21, 26</u> Drawing No. <u>A2.1</u>	Describe work and impact on feature Much of the original plaster ceiling that still exists is cracked or damaged. The plaster will be removed with great care taken to preserve the wood molding around the perimeter of most rooms, and new gypsum ceilings installed. Where tin ceiling still exists on the first floor, it will remain and be repaired as needed. All other areas will receive new gypsum ceiling.
Architectural feature <u>Floor plan and interior</u> Approximate date of feature <u>1872, 1910, 1970's-Present</u> Describe feature and its condition The first floor consists of a mostly open floor plan for retail with a storage and office area at the rear of the building. The second floor consists of a stairway and hallway along the south side of the building. The remainder of the floor is divided into 5 rooms. The 3rd floor has a small hallway at the top of the stair on the south edge of the plan. The rest of the floor is divided into 3 rooms, the largest of which is on the East side and takes up about 1/2 of the floor. Photograph No. <u>13, 24, 26-28</u> Drawing No. <u>A1.1, A1.2, A1.3</u>	Describe work and impact on feature The new first floor plan will remain largely open. 2 new stairs will be added for access to the basement and rest rooms added to the rear portion of the building. The second and third floors will remain largely the same with 3 apartments on the 2nd floor and 2 on the 3rd floor using many of the existing walls as demising walls between units. Several new walls will be added as needed to for bathrooms and bedrooms throughout the units.
Architectural feature <u>Interior finishes</u> Approximate date of feature <u>1872, 1910, 1970's-Present</u> Describe feature and its condition There is a plaster finish on all walls in the building. Photograph No. <u>15-17, 24-26</u> Drawing No. _____	Describe work and impact on feature Existing plaster walls will be retouched as necessary. New walls will have a painted gypsum finish.
Architectural feature <u>Mechanical Systems</u> Approximate date of feature _____ Describe feature and its condition The existing mechanical systems and associated duct work has no historical value. Photograph No. _____ Drawing No. _____	Describe work and impact on feature All existing mechanical systems and associated duct work will be removed. New Mechanical units will be located on the roof and will not be visible from the side walk.

**Fair market value means the appraised value as certified to the DDRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.*

CITY OF COLUMBIA
PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - AMENDMENT FORM

Use this form to propose changes in project work. Submit the completed and signed form to Preservation Planning Office, PO Box 147, 1136 Washington Street, Columbia, SC 29217. Phone: 803.545.3222; fax: 803.733.8647.

Name of Property (as submitted on Part A form):

Marks Building

Address 1625 Main St

City Columbia, South Carolina (ZIP) 29201

Describe changes in the project work:

OWNER INFORMATION

Name G. Scott Middleton

Address 1624 Main St. Columbia. SC 29201

Signature 

Date 8/9/16

Daytime Telephone 803-730-9495

PRESERVATION PLANNING OFFICE USE ONLY

The work as described in this amendment appears to meet the Standards for Rehabilitation and would receive final approval if completed as described.

The work as described in this amendment would meet the Standards for Rehabilitation if the Special Conditions on the attached sheet are met.

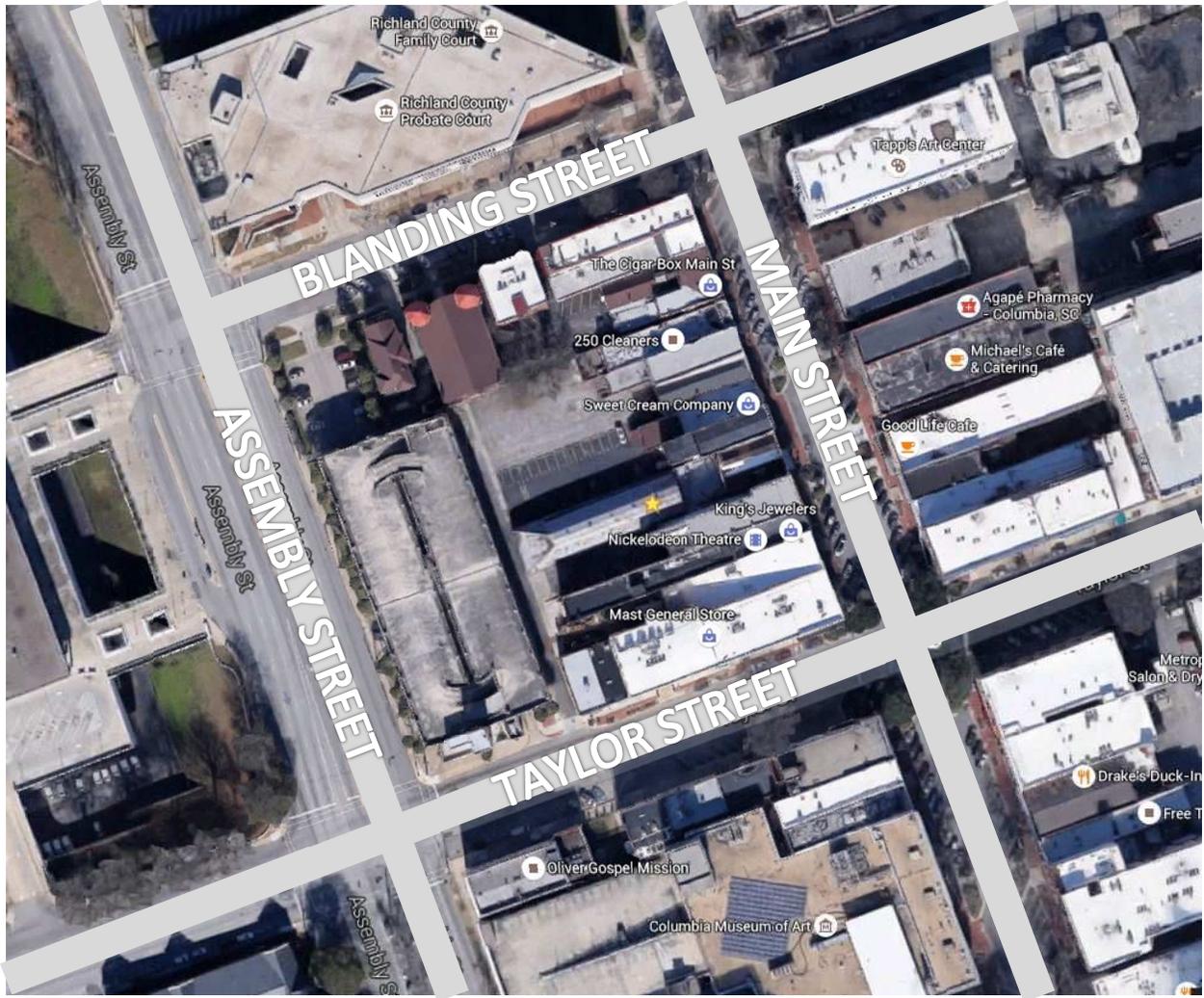
This work as described in this amendment does not appear to meet the Standards for Rehabilitation and is not approved for this property. The attached sheet describes the specific problems with the proposed work.

Secretary to the Design/Development Review Commission

See attached sheets

Authorized Signature

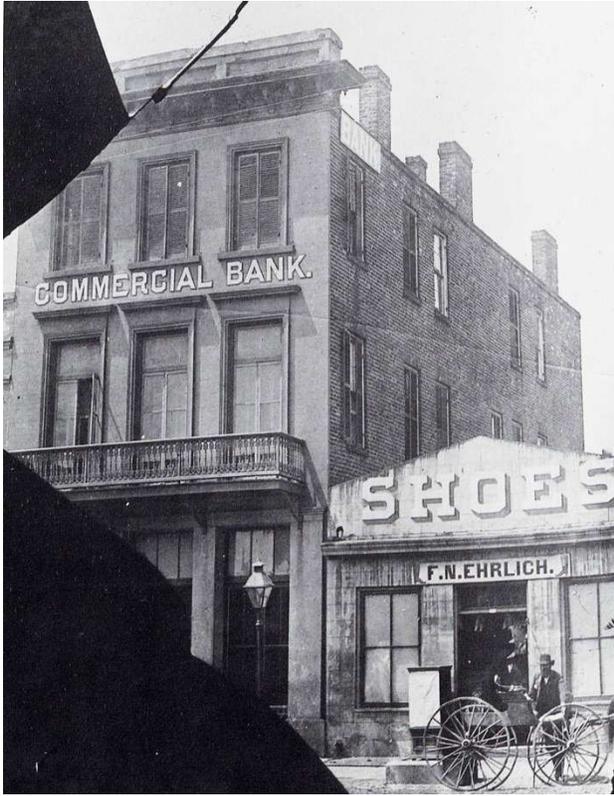
Date



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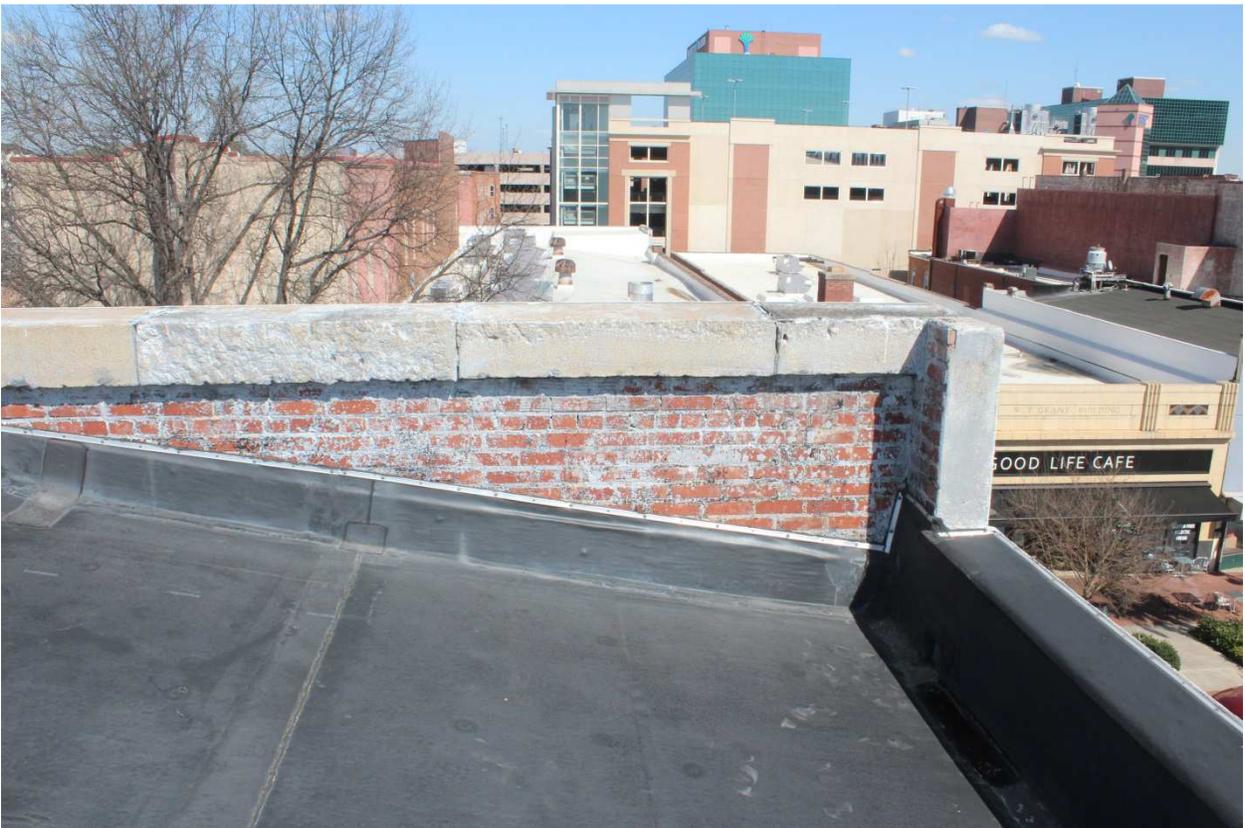
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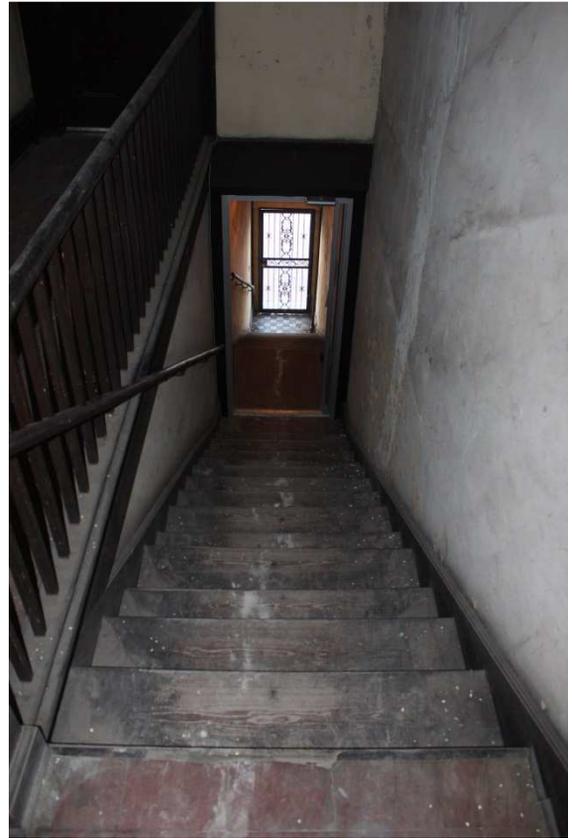
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DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS TO BE DEMOLISHED AND REMOVED FROM THE SITE. THE VERIFICATION PROCESS SHALL INCLUDE VISITING AND WALKING THE SITE. ALL ITEMS REQUIRING DEMOLITION/REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 2) PRIOR TO COMMENCEMENT OF TREE REMOVAL, THE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER AND/OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND/OR VEGETATION TO REMAIN. PROTECTION OF IDENTIFIED TREES AND/OR VEGETATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 3) THERE SHALL BE NO BURNING ON SITE.
- 4) EXISTING IMPROVEMENTS SO NOTED, ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF ACCORDING TO APPLICABLE REGULATIONS.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL AND/OR RELOCATION OF ALL UTILITIES (ABOVE AND BELOW GROUND LEVEL) AS NECESSARY TO ACCOMMODATE THE IMPROVEMENTS SHOWN ON THESE PLANS AND AS REQUIRED TO FACILITATE CONSTRUCTION.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SERVICES WHICH ARE INDICATED TO BE EXTENDED OR OTHERWISE REUSED.
- 7) ALL EXISTING CONCRETE AND/OR ASPHALT PAVEMENT THAT IS INDICATED ON THESE PLANS TO BE REMOVED FROM THE PROJECT SITE SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR ACCORDING TO APPLICABLE CODES.
- 8) THE CONTRACTOR SHALL CONSULT THE OWNER REGARDING SALVAGE. ANY ITEMS NOT RETAINED BY THE OWNER SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMOLISH AND/OR LEGALLY DISPOSE OF.
- 9) EROSION AND SEDIMENT CONTROL DEVICES MUST BE IN PLACE PRIOR TO DEMOLITION.
- 10) IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE AGENCIES FOR PROPER REMOVAL AND DISPOSAL.
- 11) DEMOLITION SHALL MEET ALL APPLICABLE STATE, LOCAL, AND FEDERAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPLICABLE DEMO AND DISPOSAL PERMITS.
- 12) CONTRACTOR SHALL GRADE DEMOLISHED AREAS TO DRAIN (PIPES, PARKING, ETC.)

GENERAL NOTES

1. TOPOGRAPHIC SURVEY WAS COMPLETED BY CHAO AND ASSOCIATES, INC ON MAY 10, 2016. NO BOUNDARY OR TOPOGRAPHIC SURVEY WAS PERFORMED BY R.B. TODD CONSULTING ENGINEERS.
2. OWNER: G. SCOTT MIDDLETON
GSM PROPERTIES, LLC
1624 MAIN STREET
COLUMBIA, SC 29201
SMIDDLETON@TCHS.COM
PHONE NUMBER: 803-730-9495
TMS: R09014-10-12, R09014-10-11
ZONING: C-5
DEVELOPMENT ADDRESS: 1621-1625 MAIN STREET COLUMBIA, SC 29201
TOTAL ACREAGE: 0.41 ACRES
DISTURBED AREA: ?? ACRES
3. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45073C0092H, DATED FEBRUARY 20, 2002, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X".
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
5. THE CONTRACTOR SHALL NOTIFY PUPS AT 1-888-721-7877 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL UNDERGROUND UTILITIES LOCATED.

KEY NOTES

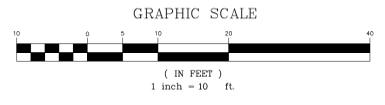
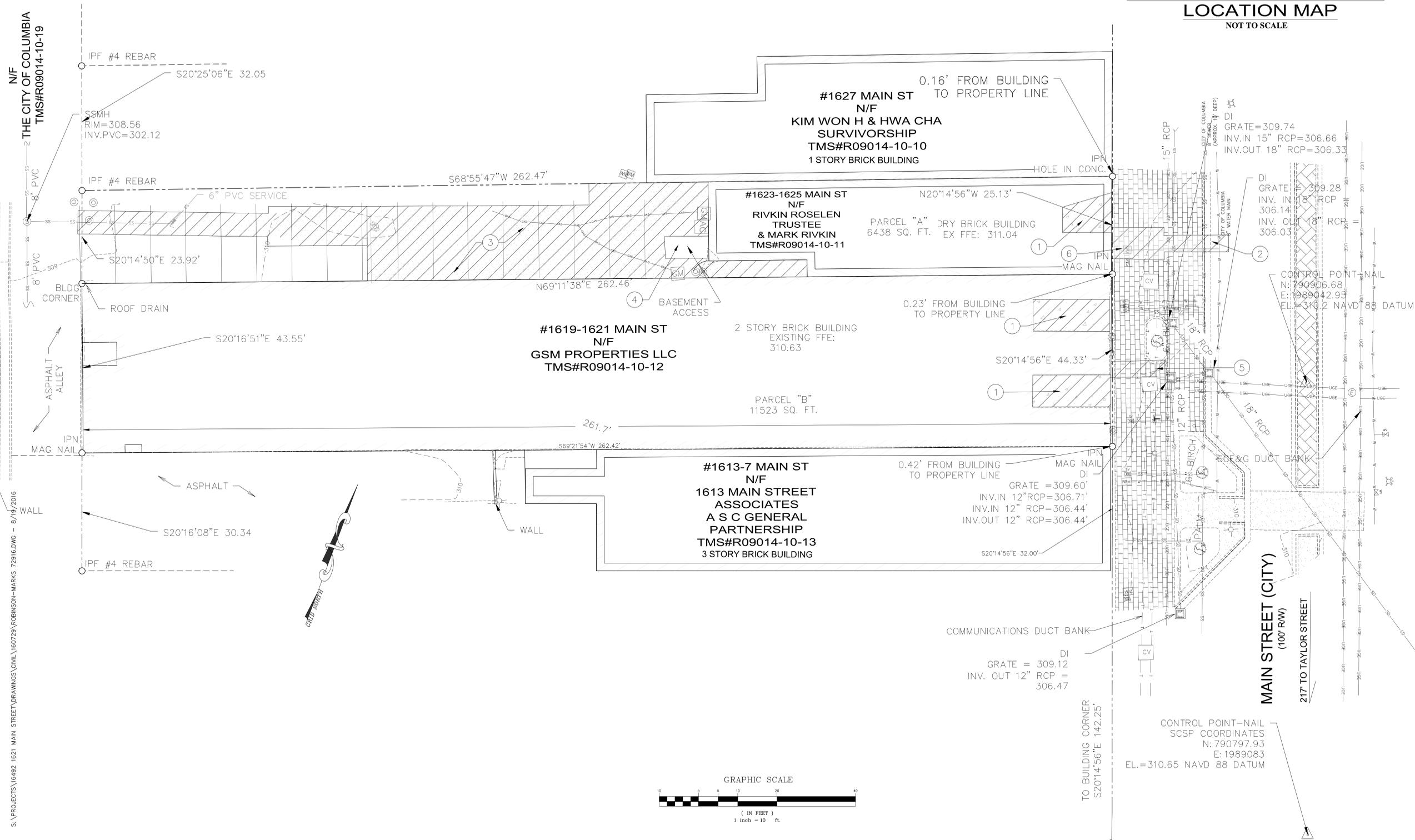
- 1 REMOVE EXISTING CONCRETE COMPLETE
- 2 REMOVE EXISTING SIDEWALK CONCRETE/PAVERS/CURB AS REQUIRED FOR WATER AND SEWER SERVICE CONNECTIONS
- 3 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT
- 4 SEE ARCH FOR BASEMENT STAIR REMOVAL
- 5 REMOVE EXISTING SIDEWALK CONCRETE/PAVERS AS REQUIRED FOR NEW ROOF DRAIN CONNECTION
- 6 COORDINATE REMOVAL OF EXISTING WATER METER AND SERVICE WITH CITY OF COLUMBIA

LEGEND

DEMOLITION	EXISTING	DESCRIPTION
N/A	+	BENCHMARK/CONTROL POINT
N/A	---	PROPERTY LINE/RIGHT OF WAY
N/A	□	BUILDING
N/A	○	LIGHT POLE
N/A	○	TREE
N/A	---	BITUMINOUS SURFACE
N/A	---	CONCRETE SURFACE
N/A	---	CONTOUR
N/A	x (309.50)	SPOT ELEVATION
N/A	---	CHAIN LINK FENCE
N/A	W	WATER VALVE
N/A	W	WATER METER
N/A	---	UNDERGROUND ELECTRIC LINE
N/A	---	W/LIGHT POLE
N/A	SS	SANITARY SEWER LINE w/MANHOLE
N/A	SS	SANITARY SEWER CLEANOUT
N/A	SD	STORM DRAIN LINE w/STRUCTURE
N/A	○	KEY NOTE REFERENCE



LOCATION MAP
NOT TO SCALE



LAMBERT
ARCHITECTURE +
CONSTRUCTION SERVICES

architecture construction services planning historic consulting

P.O. BOX 5250 COLUMBIA, SC 29250
522 LADY ST. COLUMBIA, SOUTH CAROLINA 29201
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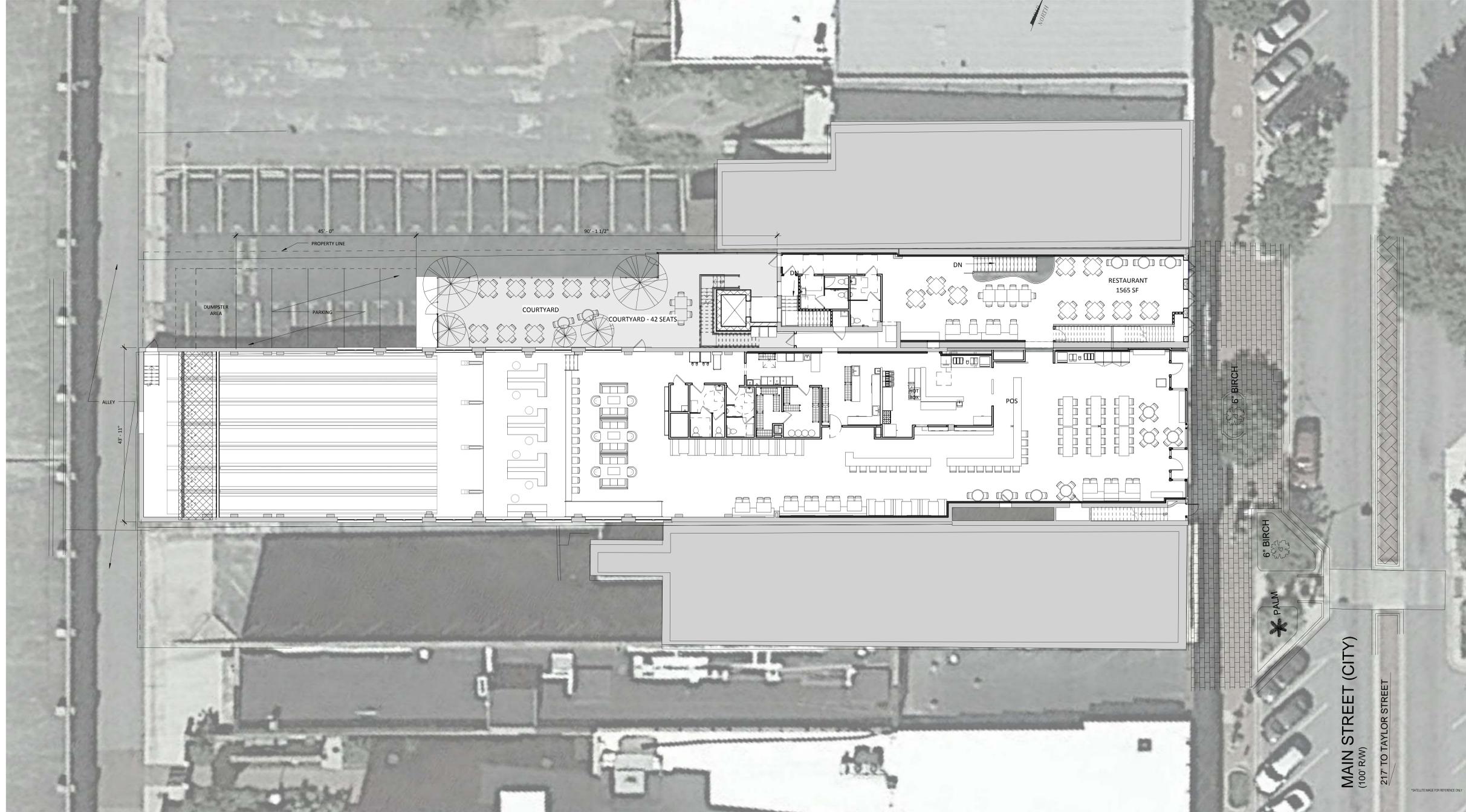
1621 MAIN ST.
ROBINSON AND MARK'S BUILDING
COLUMBIA, SC

REV #	REV DATE

EXISTING CONDITIONS AND
SITE DEMOLITION PLAN

PROJ. NO.: 16-492
DRAWN BY: TLC
DATE: 01.14.2016

C1.1



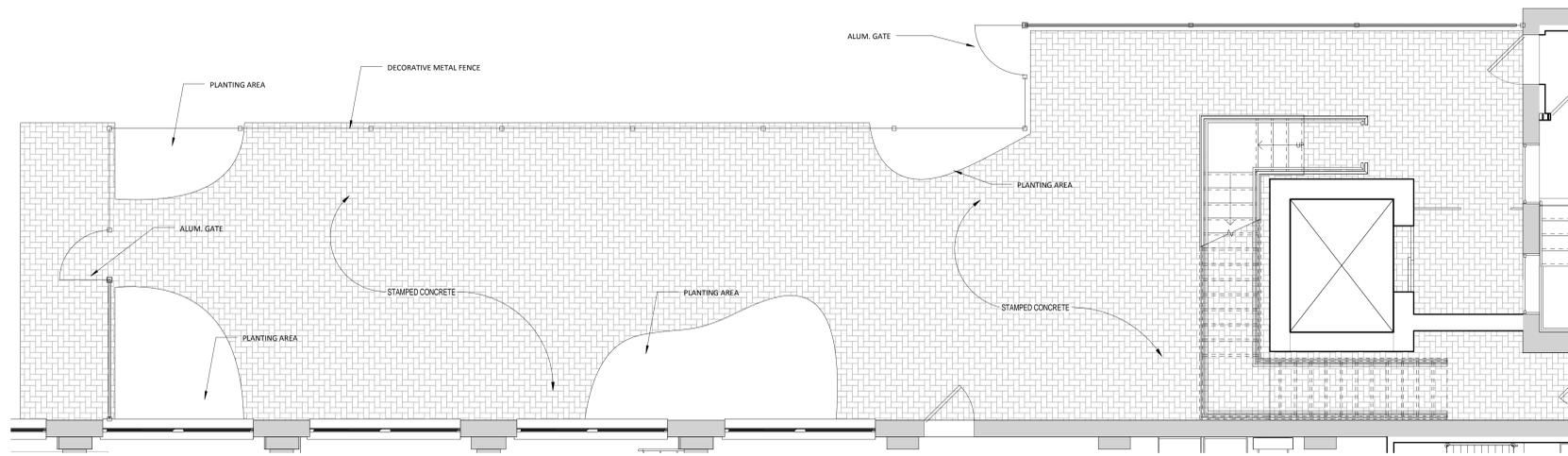
1 CONCEPTUAL SITE PLAN
SCALE: 3/32" = 1'-0"

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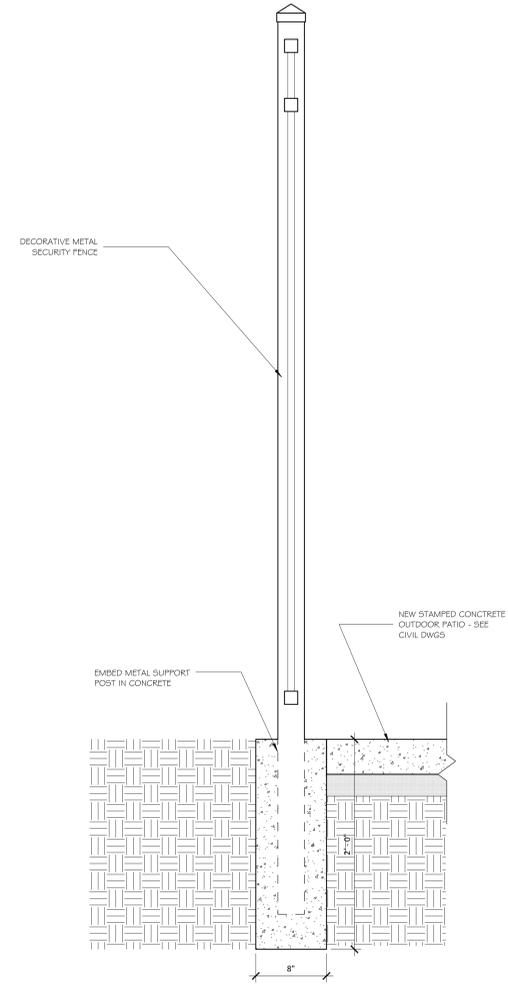
1619-1625 MAIN STREET
COLUMBIA, SC

REV #	REV DATE

ARCHITECTURAL SITE PLAN
PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016



1 ENLARGED PATIO PLAN
SCALE: 1/4" = 1'-0"



2 SECTION THROUGH COURTYARD FENCE
SCALE: 1/2" = 1'-0"

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1619-1625 MAIN STREET
COLUMBIA, SC

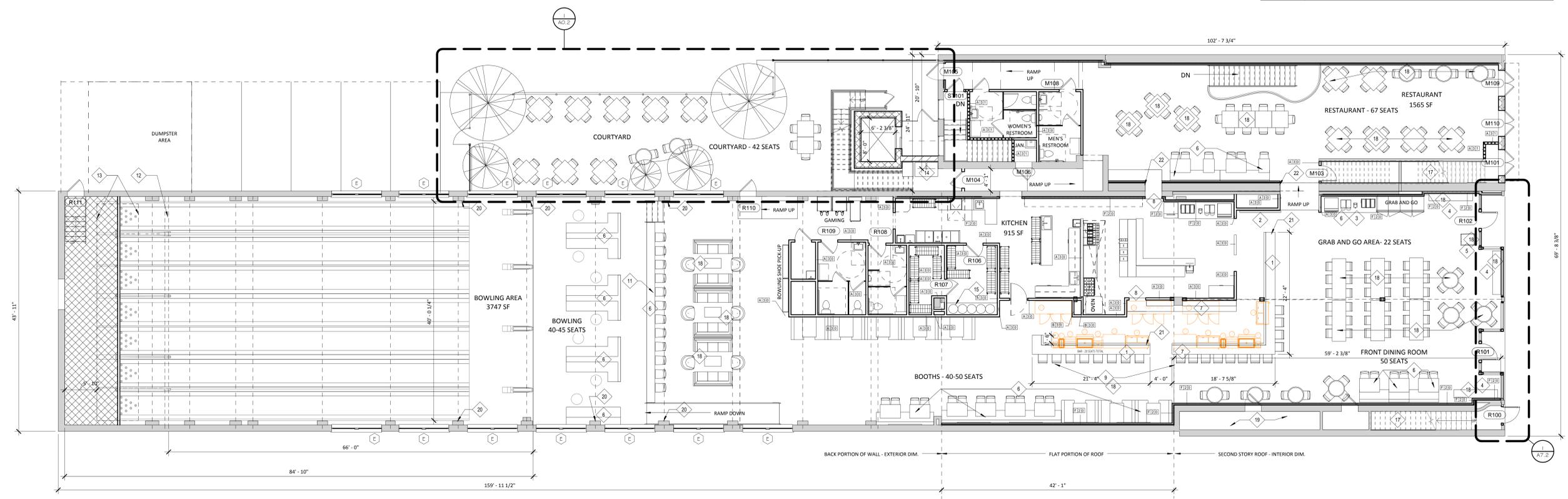
REV #	REV DATE

SITE DETAILS

PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016

A0.2

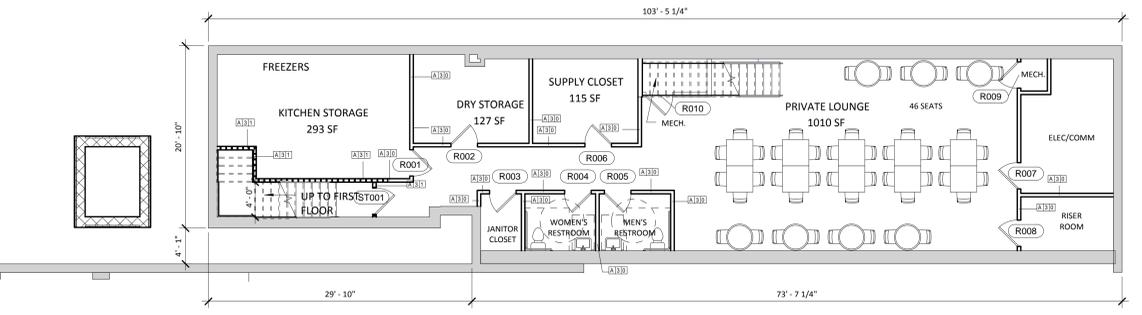
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KEYNOTE - FLOOR PLAN	
Plan Note ID	NOTE DESCRIPTION
1	POS
2	SLIDING DOOR
3	DRINK STATION
4	WAITING BENCH
5	HOTNESS STAND
6	BUILT-IN SEATING (TYP)
7	CONCRETE COUNTERTOPS
8	SELL WINDOW
9	BOLTED DOWN BARSTOOLS (TYP)
10	BOWLING CHECK-IN
11	BALL STORAGE WITH DRINK RAIL
12	"CURTAIN WALL" (ABOVE)
13	PINSETTERS
14	TRASH CANS
15	KEGS
16	WINDOW TYPE "A" DEMOLISHED TO A NEW EXTERIOR DOOR TO ALLOW ACCESS APARTMENT FROM BACK OF BUILDING
17	EXISTING STAIRS TO REMAIN. STAIRS TO BE REFINISHED TO BE BROUGHT UP TO CODE. NEW CODE REQUIRED HANDRAILS TO BE ADDED AS NEEDED.
18	MOVABLE FURNITURE PROVIDED BY OWNER
19	ADD WEED BARRIER MAT AND SPREAD WITH GRAVEL GROUND COVER.
20	REINFORCED PILASTER. SEE STR. DWGS.
21	CONTRACTOR TO CHALK OUT PRIOR TO CONSTRUCTION
22	FIELD VERIFY WALL DEPTHS PRIOR FABRICATING LINTELS FOR NEW OPENINGS

1 M/R - FIRST FLOOR PLAN
A1.1 1/8" = 1'-0"

2 BASEMENT MARKS BLDG
SCALE: 1/8" = 1'-0"



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1 MARK'S AND ROBINSON SECOND FLOOR
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- SEE G.O. FOR MINIMUM REQUIRED ADA MANEUVERING CLEARANCES. VERIFY EXACT FEB LOCATIONS WITH ARCHITECT.
- SEE G.O. FOR REQUIRED UL ASSEMBLIES OF ALL BUILDING SYSTEMS. ALL PENETRATIONS THROUGH RATED WALL AND FLOOR ASSEMBLIES MUST COMPLY WITH UL DESIGN FOR PENETRATIONS.
- DIMENSIONS INDICATED ON THESE DRAWINGS ARE TO FACE OF WALL, FACE OF EXTERIOR VENEER, FACE OF STUD WALL, OR CENTERLINE OF COLUMN UNLESS OTHERWISE INDICATED. COORDINATE ALL DIMENSIONS WITH STRUCTURAL DIMENSION PLANS, ENLARGED PLANS, SECTION AND DETAIL DRAWINGS, AND STRUCTURAL DRAWINGS AND VERIFY EXACT LOCATIONS. COORDINATE ALL FLOOR SLAB PENETRATIONS WITH SYSTEM DRAWINGS (S, M, P, F, AND E) AND ACTUAL PRODUCT TO BE INSTALLED AND VERIFY LOCATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
- INTERIOR METAL STUD OPENINGS TO RECEIVE STOREFRONT, DOORS, GRILLS, LOUVERS, OR OTHER ELEMENTS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURE OF SYSTEM. ANY CONFLICTS WITH INDICATED DIMENSIONS OR LOCATIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- SEE FINISH SCHEDULES AND PLANS FOR FLOOR PATTERNS AND FLOOR FINISH REFERENCES.
- SEE ROOF PLAN FOR ROOF AND PARAPET DETAIL REFERENCES, GENERAL ROOF NOTES AND ROOF LEGEND.

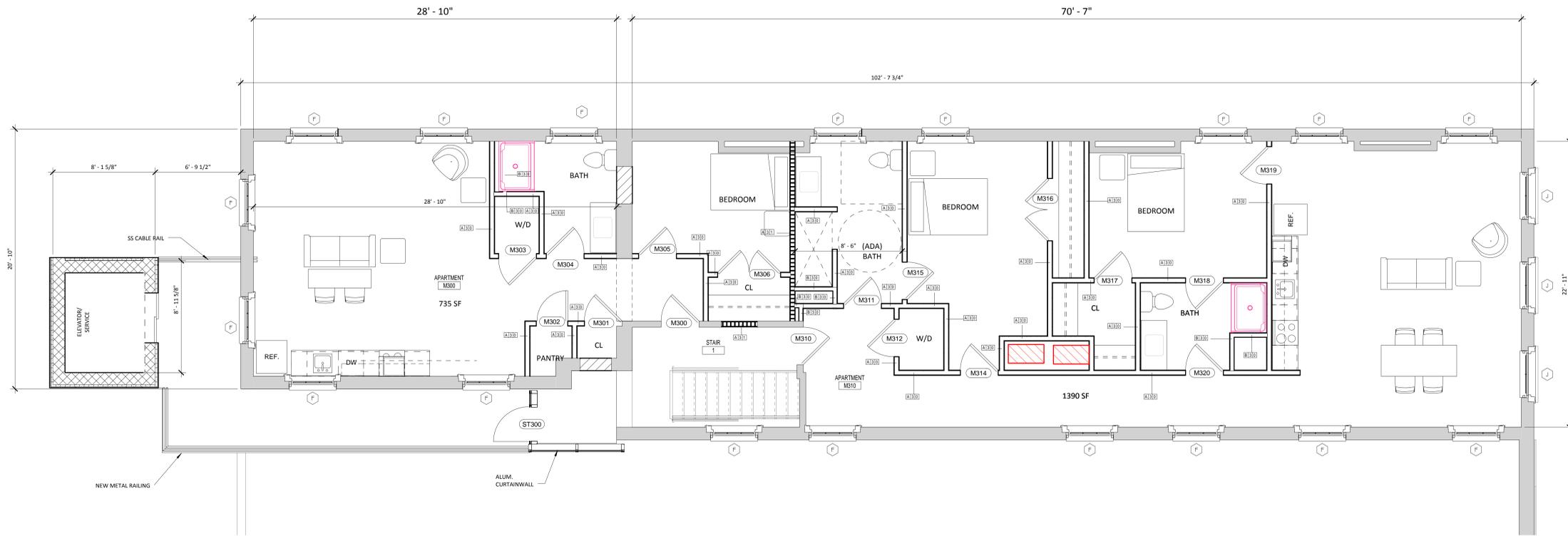
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1619-1625 MAIN STREET
COLUMBIA, SC

SECOND FLOOR PLAN

PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016

A1.2



1 MARKS THIRD FLOOR
SCALE: 1/4" = 1'-0"

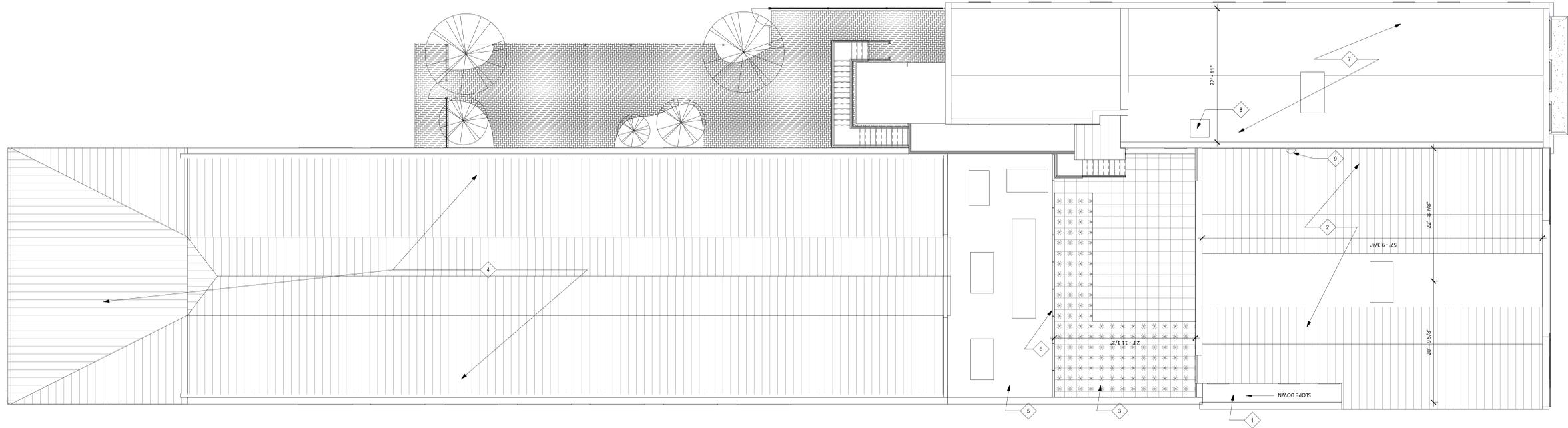
- GENERAL NOTES**
- SEE G.O.D FOR MINIMUM REQUIRED ADA MANEUVERING CLEARANCES. VERIFY EXACT FER LOCATIONS WITH ARCHITECT.
 - SEE G.O.D FOR REQUIRED UL ASSEMBLIES OF ALL BUILDING SYSTEMS. ALL PENETRATIONS THROUGH RATED WALL AND FLOOR ASSEMBLIES MUST COMPLY WITH UL DESIGN FOR PENETRATIONS.
 - DIMENSIONS INDICATED ON THESE DRAWINGS ARE TO FACE OF WALL, FACE OF EXTERIOR VENEER, FACE OF STUD WALL OR CENTERLINE OF COLUMN UNLESS OTHERWISE INDICATED. COORDINATE ALL DIMENSIONS WITH STRUCTURAL DIMENSION PLANS, ENLARGED PLANS, SECTION AND DETAIL DRAWINGS, AND STRUCTURAL DRAWINGS AND VERIFY EXACT LOCATIONS. COORDINATE ALL FLOOR SLAB PENETRATIONS WITH SYSTEM DRAWINGS (S, M, P, F, P, AND E) AND ACTUAL PRODUCT TO BE INSTALLED AND VERIFY LOCATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
 - INTERIOR METAL STUD OPENINGS TO RECEIVE STOREFRONT, DOORS, GRILLS, LOUVERS, OR OTHER ELEMENTS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURE OF SYSTEM. ANY CONFLICTS WITH INDICATED DIMENSIONS OR LOCATIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
 - SEE FINISH SCHEDULES AND PLANS FOR FLOOR PATTERNS AND FLOOR FINISH REFERENCES.
 - SEE ROOF PLAN FOR ROOF AND PARAPET DETAIL REFERENCES, GENERAL ROOF NOTES AND ROOF LEGEND.

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REV #	REV DATE

THIRD FLOOR PLAN
PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016



1 ROOF PLAN
1/8" = 1'-0"

ROOF PLAN KEY NOTE LEGEND	
Plan Note ID	NOTE DESCRIPTION
1	NEW TPO ROOF ASSEMBLY OVER EXISTING OPENING BETWEEN BUILDINGS.
2	NEW TPO ROOF ON TOP OF R-30 RIGID INSULATION OVER EXISTING STRUCTURE.
3	NEW ROOF TOP PEDESTAL PATIO WITH SYNTHETIC GRASS SYSTEM OVER PMA MEMBRANE ROOF.
4	NEW STANDING SEAM METAL PANEL ROOF OVER R-30 INSULATION ON METAL STUD FURRING SYSTEM. EXISTING ROOF TO REMAIN BELOW.
5	NEW PMA MEMBRANE ROOF MECHANICAL AREA
6	NEW VEGETATED MECHANICAL SCREEN WALL
7	EXISTING ROOF TO REMAIN. ROOF TO BE SPRAY FOAM INSULATED FROM BELOW.
8	EXISTING ROOF HATCH
9	NEW LADDER ACCESS TO ROBINSON ROOFTOP

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COLUMBIA, SC

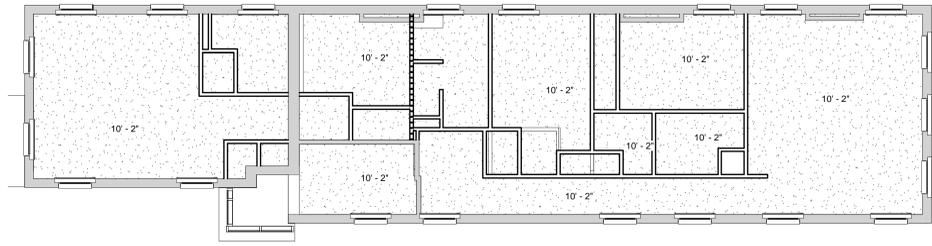
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ROOF PLAN

PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016

A1.4

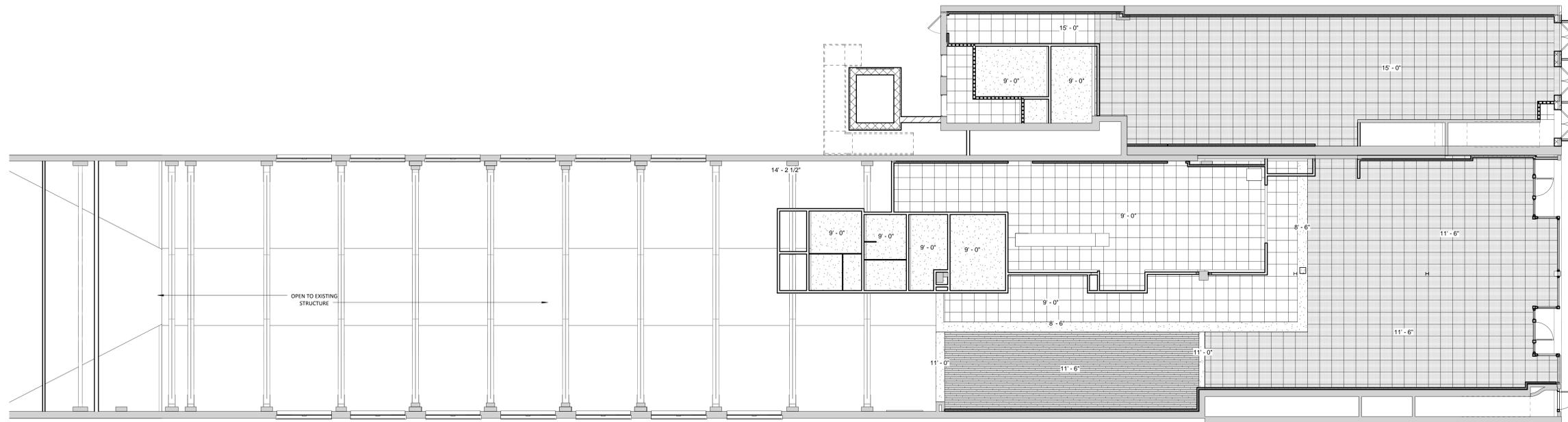
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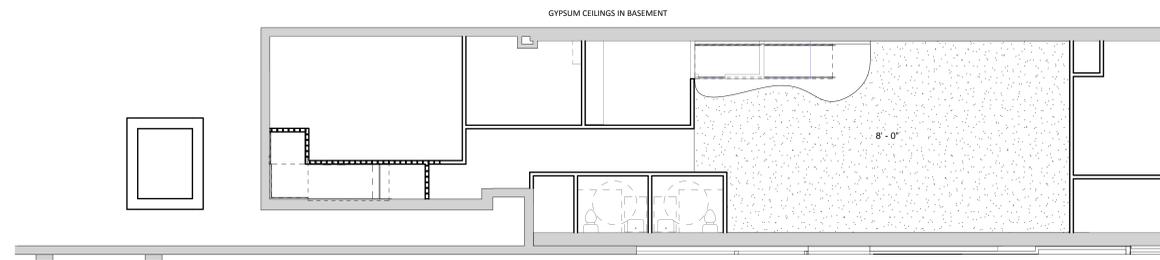
3 MARKS THIRD FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



2 ROBINSON BTM OF LINEL
SCALE: 1/8" = 1'-0"



1 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



4 MARK'S BASEMENT
SCALE: 1/8" = 1'-0"

LEGEND	
	2x2 SUSPENDED LAY-IN ACOUSTICAL TILE AND GRID
	2x2 TIN CEILING TO MATCH EXISTING
	WOOD CEILING
	2x4 RECESSED FLUORESCENT LIGHT FIXTURE
	MECHANICAL GRILLES
	EXPOSED TO STRUCTURE ABOVE
	GYPSUM BOARD CEILING
	RECESSED CAN LIGHT FIXTURE
	EXIT SIGN
	1x4 SURFACE MOUNTED LIGHT FIXTURE

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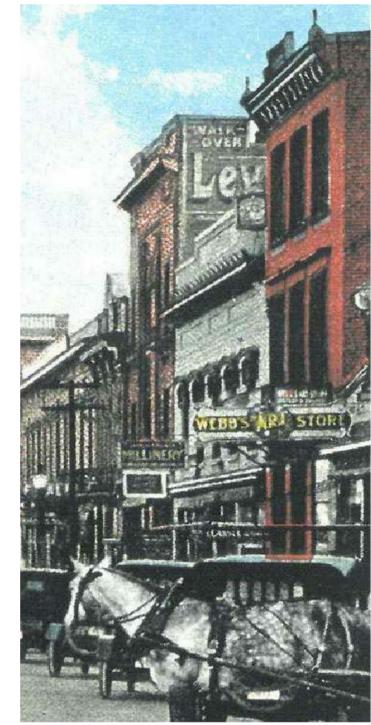
1619-1625 MAIN STREET
COLUMBIA, SC

REV #	REV DATE

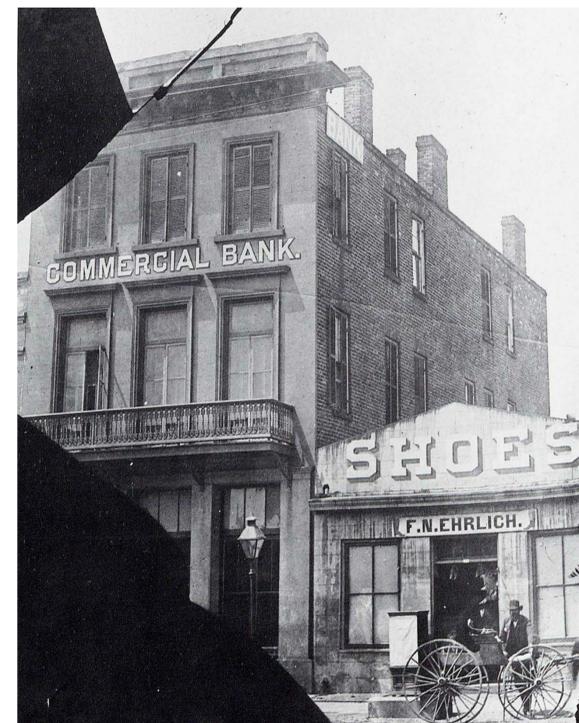
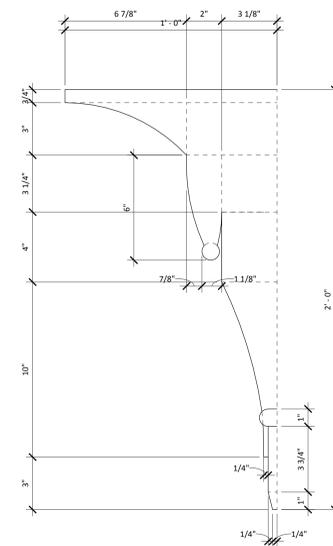
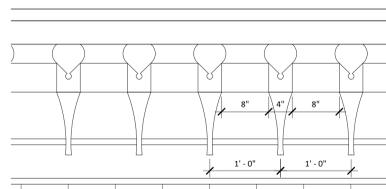
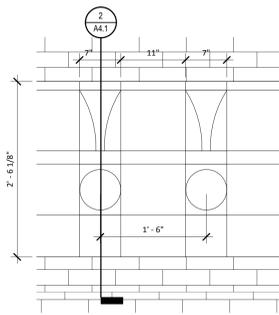
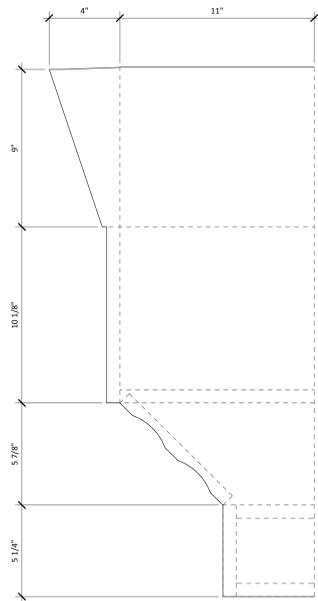
REFLECTED CEILING PLAN
PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016



KEYNOTE - ELEVATION	
Plan Note ID	NOTE DESCRIPTION
1	RESTORE HISTORIC STUCCO FINISH TO MARKS FACADE
2	EXISTING STONE PARAPET CAP
3	EXISTING BRICK INLAYS
4	HISTORICALLY REPLICATED WOOD CURVED WINDOW TRIM
5	NEW HISTORICALLY REPLICATED CORNICE MOULDING
6	NEW RETRACTABLE AWNING
7	NEW WOOD STOREFRONT SYSTEM
8	NEW LARGE PICTURE WINDOWS
9	EXISTING BRICK
10	EXISTING CAST STONE
11	EXISTING STUCCO INLAYS
12	EXISTING PARAPET
13	NEW HISTORIC WOOD WINDOW TRIM AND WINDOWS
14	EXTEND EXISTING WINDOW TRIM DOWN TO PORCH ELEVATION AS SHOWN IN IMAGE TO THE RIGHT
15	EXISTING STUCCO TO BE RESTORED
16	NEW BALCONY/RAILING REPLICATION WITH WOOD AND STEEL
17	NEW STEEL SUPPORT
18	NEW MASONARY AND STUCCO COLUMNS
19	NEW HISTORIC DOUBLE DOORS
20	NEW STUCCO ON NEW ELEVATOR TOWER
21	NEW DECORATIVE METAL FENCE - SEE A0.2
22	NEW METAL ROOF FURRED ONTO EXISTING ROOF AND STRUCTURE
23	STANDING SEAM METAL ROOF
24	NEW METAL RAILING
25	STEEL BRACKETS
26	NEW ELEVATOR AND BREEZEWAY ROOF
27	ALUM. CURTAINWALL
28	NEW ENTRY GATE
29	NEW LADDER ACCESS TO ROBINSON ROOF
30	NEW METAL STAIR TO SECOND LEVEL
31	NEW DECORATIVE METAL MECHANICAL SCREEN WALL AT ROOF TOP PATIO



1 PROPOSED FRONT ELEVATION-SCHEMATIC
SCALE: 1/4" = 1'-0"

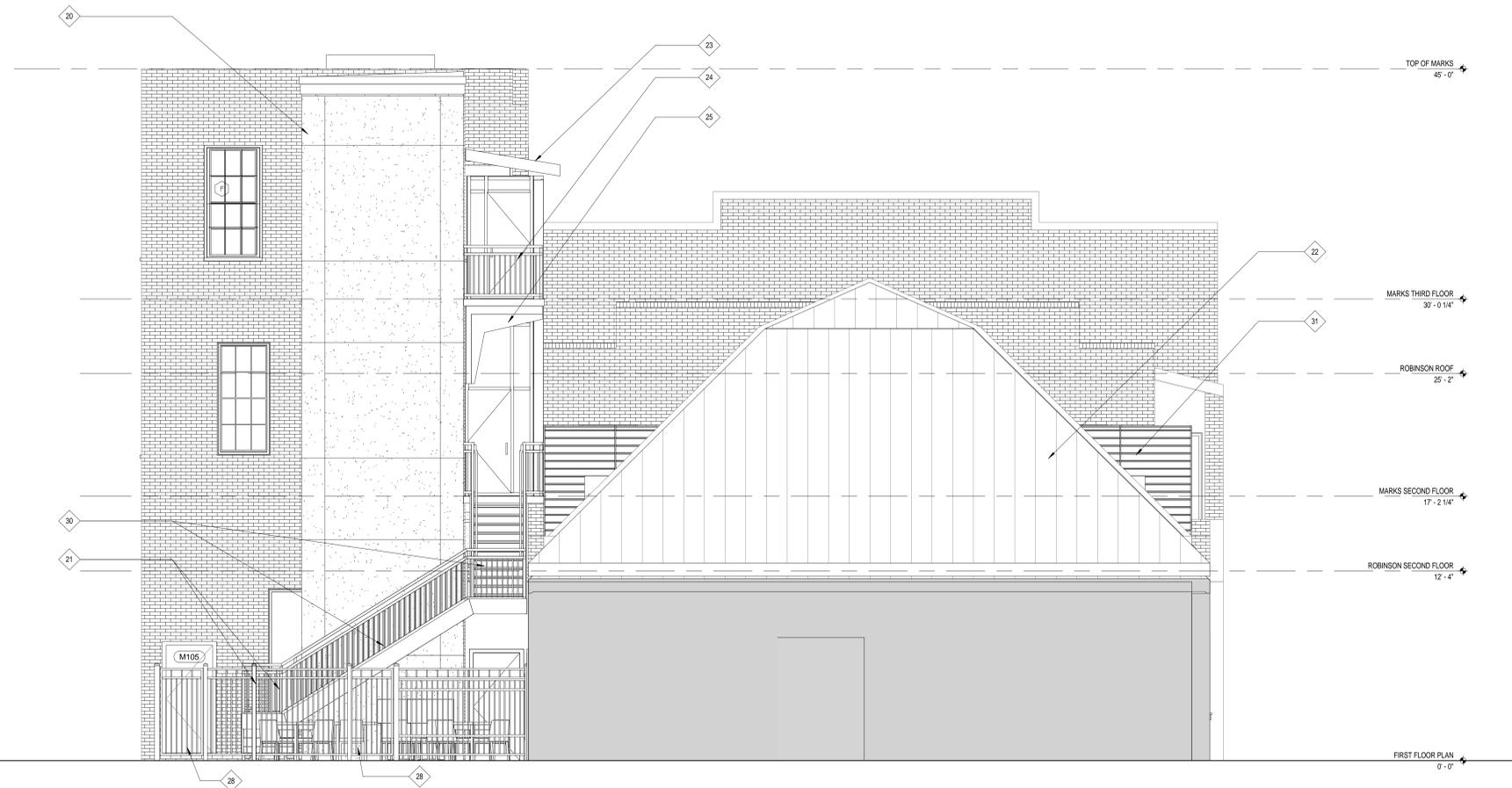


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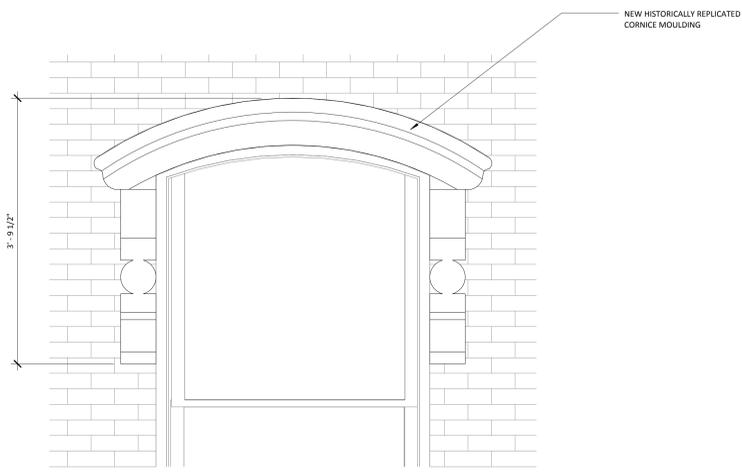
REV #	REV DATE

EXTERIOR ELEVATION & DETAILS
PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016

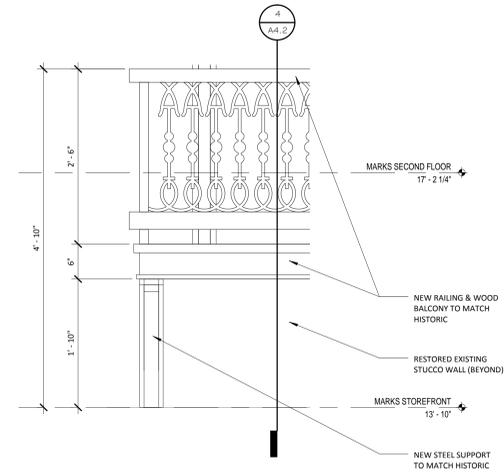


KEYNOTE - ELEVATION	
Plan Note ID	NOTE DESCRIPTION
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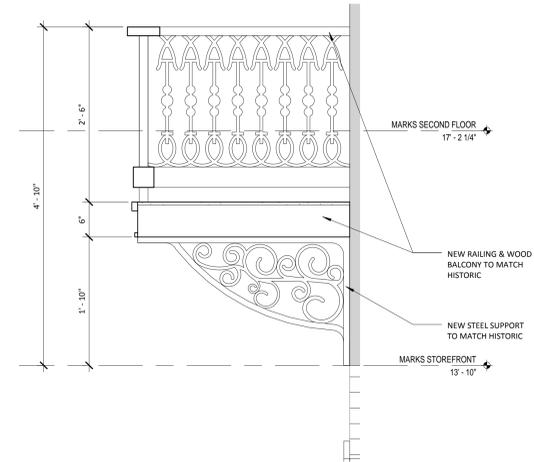
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 ROBINSON ENLARGED WINDOW TRIM
SCALE: 1" = 1'-0"



3 MARK'S ENLARGED BALCONY DETAIL
SCALE: 1" = 1'-0"



4 SECTION THROUGH MARKS BALCONY/HANDRAIL
SCALE: 1" = 1'-0"

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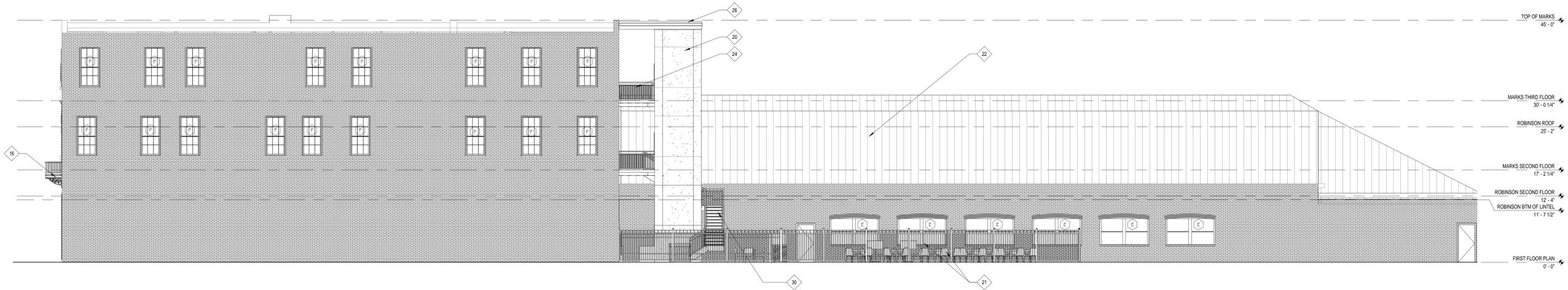
1619-1625 MAIN STREET
COLUMBIA, SC

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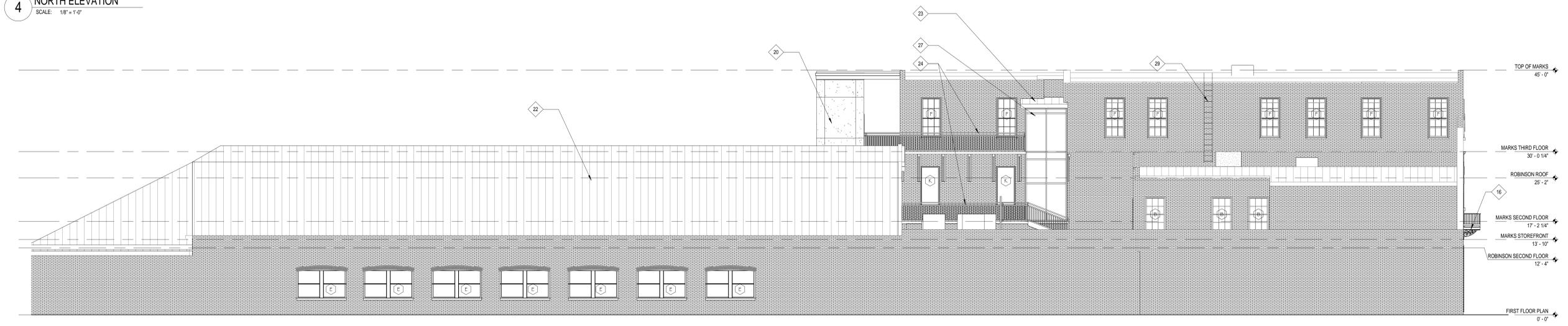
EXTERIOR ELEVATIONS &
FACADE DETAILS
PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016

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KEYNOTE - ELEVATION	
Plan Note ID	NOTE DESCRIPTION
1	RESTORE HISTORIC STUCCO FINISH TO MARKS FACADE
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28	NEW ENTRY GATE
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30	NEW METAL STAIR TO SECOND LEVEL
31	NEW DECORATIVE METAL MECHANICAL SCREEN WALL AT ROOF TOP PATIO



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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1619-1625 MAIN STREET
COLUMBIA, SC

REV #	REV DATE

EXTERIOR ELEVATIONS

PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016

A4.3



PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016

EXISTING WINDOW IMAGES

REV #	REV DATE

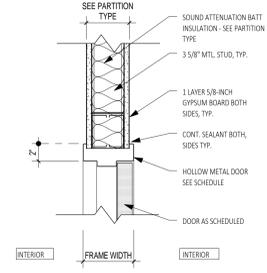
1619-1625 MAIN STREET

COLUMBIA, SC

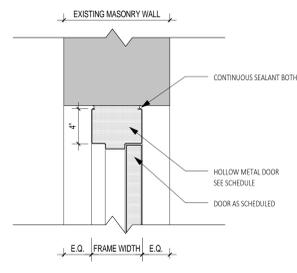
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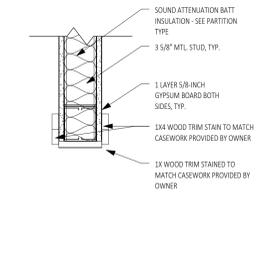
DOOR SCHEDULE											
NO.	DOOR			DOOR TYPE	FRAME		DETAILS			FIRE RATING	COMMENTS
	WIDTH	HEIGHT	THICKNESS		TYPE	MAT'L	HEAD	JAMB	SILL		
758	3'-0"	7'-0"	0'-2"								
759	3'-0"	7'-0"	0'-2"								
764	4'-0"	6'-8"	0'-2"								
765	4'-0"	6'-8"	0'-2"								
766	4'-0"	6'-8"	0'-2"								
776	3'-0"	7'-0"	0'-1"								
782	0'-0"	0'-0"	0'-0"								
783	3'-3"	7'-2"	0'-2"								
827	3'-0"	7'-0"	0'-2"								
828	0'-0"	0'-0"	0'-0"								
830	3'-0"	6'-8"	0'-2"								
831	2'-10"	6'-8"	0'-1 1/2"								
835	3'-0"	7'-0"	0'-2"								
839	3'-0"	7'-0"	0'-2"								
841	3'-0"	7'-0"	0'-2"								
842	2'-8"	7'-0"	0'-2"								
844	0'-0"	0'-0"	0'-0"								
M101	4'-0"	12'-0"	0'-2"								
M102	3'-0"	7'-0"	0'-2"								
M103	2'-10"	7'-0"	0'-2"								
M104	3'-0"	7'-0"	0'-2"								
M105	3'-0"	7'-0"	0'-2"								
M106	3'-0"	7'-0"	0'-2"								
M108	3'-0"	7'-0"	0'-2"								
M109	4'-0"	12'-0"	0'-2"								
M110	4'-0"	12'-0"	0'-2"								
M200	3'-0"	7'-0"	0'-2"								
M201	3'-0"	7'-0"	0'-2"								
M202	5'-0"	7'-0"	0'-2"								
M203	3'-0"	7'-0"	0'-2"								
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M301	3'-0"	7'-0"	0'-2"								
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M304	3'-0"	7'-0"	0'-2"								
M305	3'-0"	7'-0"	0'-2"								
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M319	3'-0"	7'-0"	0'-2"								
M320	3'-0"	7'-0"	0'-2"								
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R110	3'-0"	7'-0"	0'-2"								
R111	3'-0"	7'-0"	0'-2"								
R112	3'-0"	8'-0"	0'-2"								
R114	7'-0"	7'-6"	0'-1 3/4"							NR	
R116	7'-0"	7'-6"	0'-1 3/4"							NR	
R200	3'-3"	7'-2"	0'-2"								
R201	3'-0"	7'-0"	0'-2"								
R202	3'-0"	6'-8"	0'-1 1/2"								
R204	3'-0"	7'-0"	0'-2"								
R205	4'-0"	7'-0"	0'-2"								
R206	3'-0"	7'-0"	0'-2"								
R207	3'-0"	7'-0"	0'-2"								
R208	3'-0"	7'-0"	0'-2"								
R209	3'-0"	6'-8"	0'-2"								
ST001	3'-0"	7'-0"	0'-2"								
ST101	3'-0"	7'-0"	0'-2"								
ST200	2'-9 3/4"	6'-8 3/4"									
ST300	2'-9 1/2"	6'-8 3/4"									



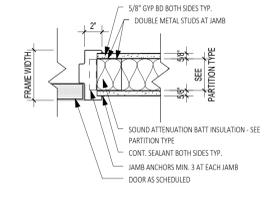
H1 HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



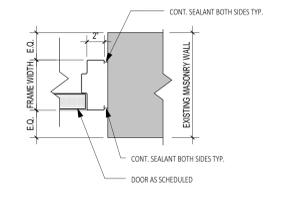
H2 HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



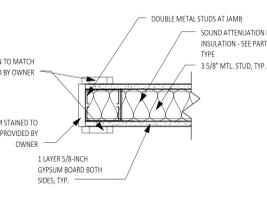
H3 HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



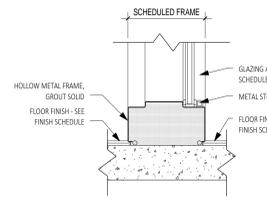
J1 JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



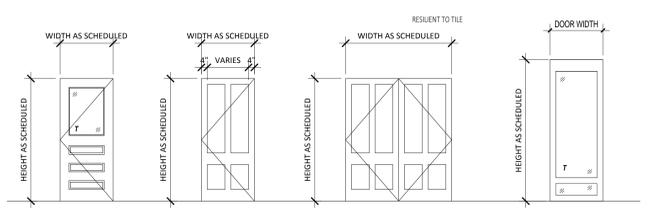
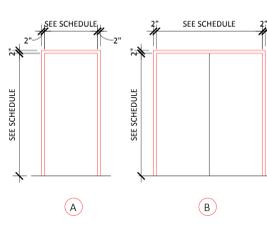
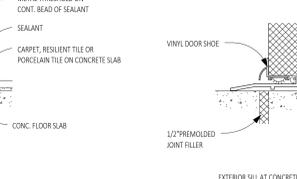
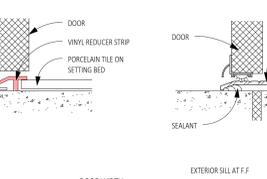
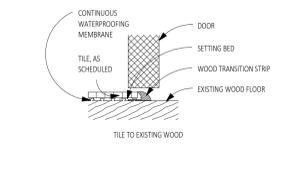
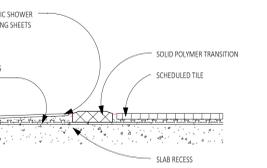
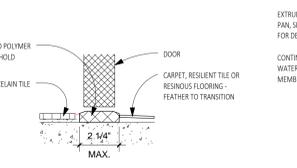
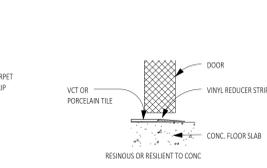
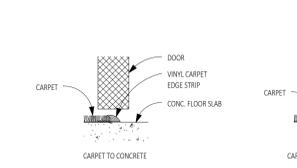
J2 JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



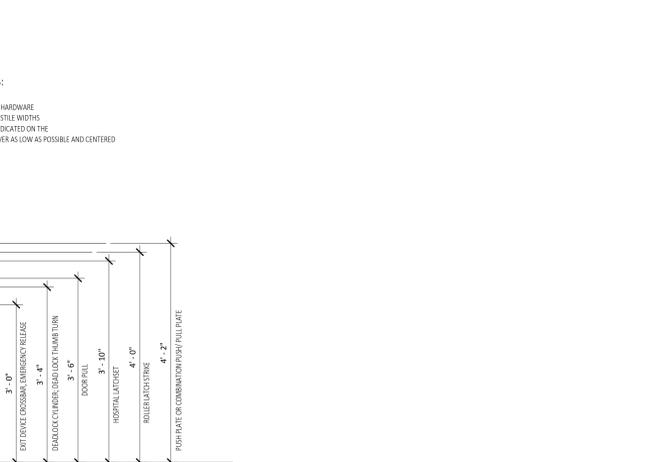
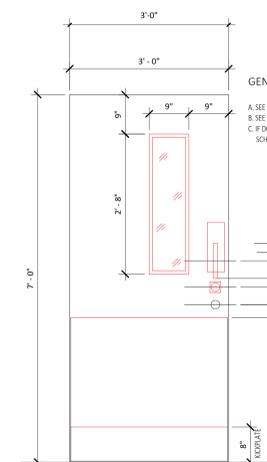
J3 JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



S1 SILL DETAIL
SCALE: 1 1/2" = 1'-0"



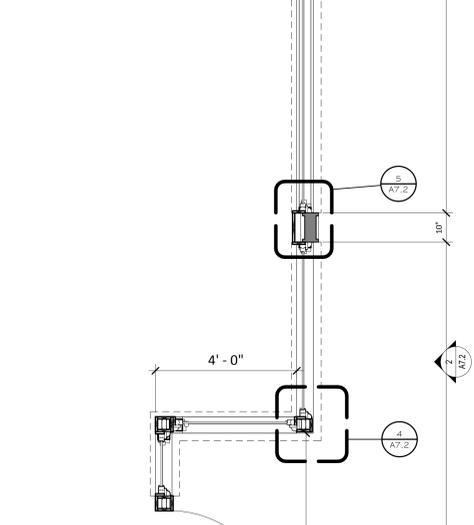
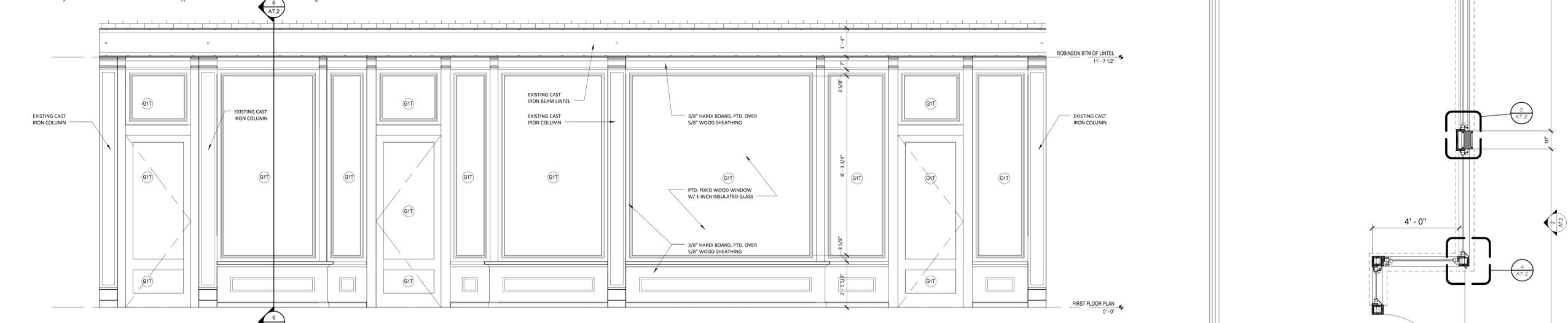
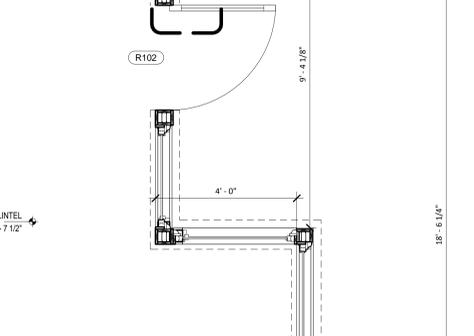
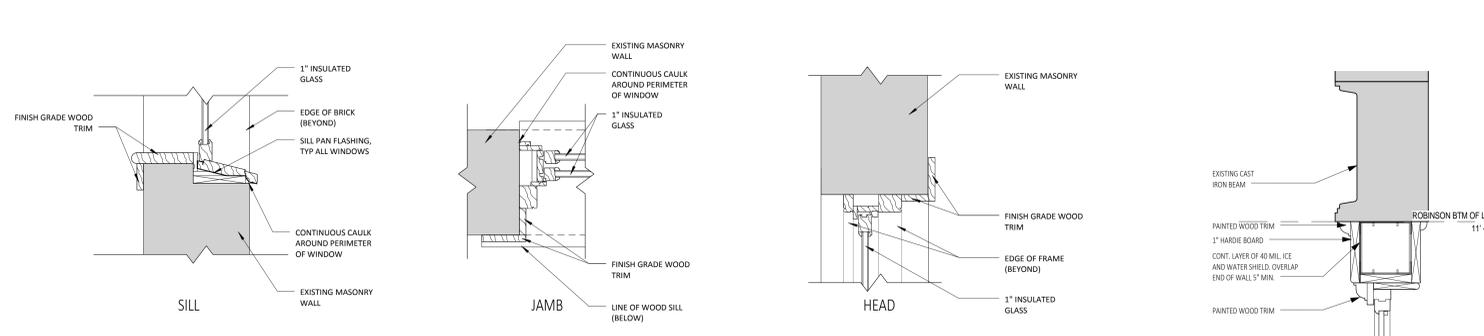
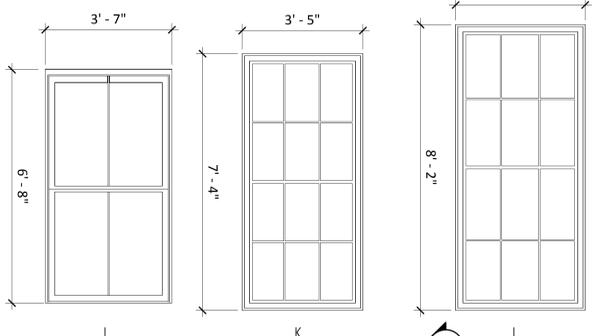
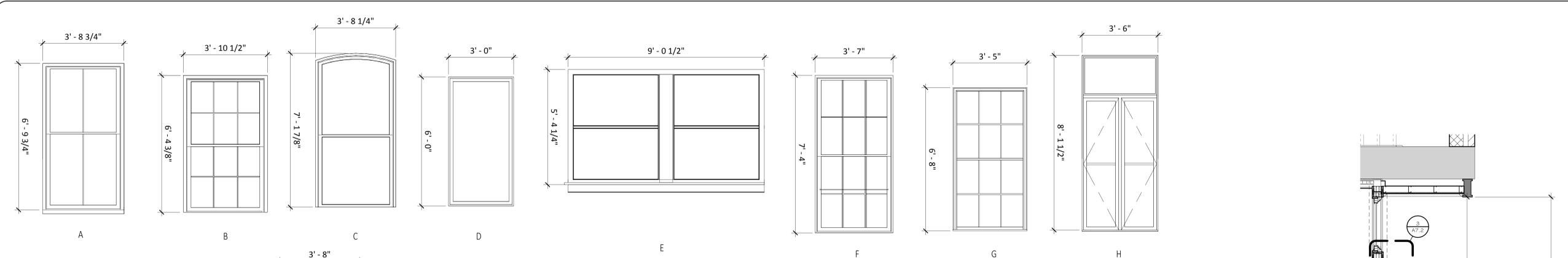
GENERAL NOTES:
A. SEE SPECIFICATIONS FOR HARDWARE.
B. SEE SPECIFICATIONS FOR SILL WIDTHS.
C. IF DOOR LOUVERS ARE INDICATED ON THE SCHEDULE, LOCATE LOUVER AS LOW AS POSSIBLE AND CENTERED.



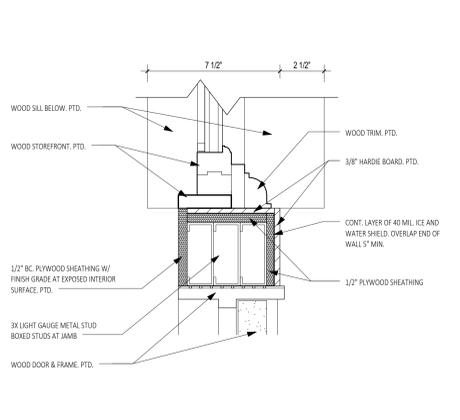
DOOR NOTES	
1.	ALL FRAMES SHALL BE HOLLOW METAL WITH 2" FACE DIMENSION, EXCEPT AS NOTED.
2.	REFER TO WALL SECTIONS AND EXTERIOR ELEVATIONS FOR NON-TYPICAL HEAD, JAMB AND SILL INFORMATION.
3.	EDGE OF DOORS SHALL HAVE A MINIMUM CLEARANCE OF 1/8" TO 1/2" CLEAR BETWEEN THE DOOR STRIKE AND SIDE WALL PER ADA/ AND REQUIREMENTS.
4.	FIELD VERIFY ALL ADJACENT WALL THICKNESSES.
5.	FIELD VERIFY ALL FRAME OPENING WIDTHS AND HEIGHTS.
6.	HEADS OF HOLLOW METAL FRAMES LOCATED IN MASONRY WALLS SHALL BE 4" TALL.
7.	VERIFY HEADS AND MASTER SETTING OF ALL DOORS WITH OWNER.
8.	CONTINUOUS HINGES ARE TO BE USED ON ALL EXTERIOR DOORS.
9.	ALL GLASS ON DOOR AND DOOR SIDELITES AND TOP LITES SHALL BE 1/4" THICK CLEAR TEMPERED GLASS (L.G.L.).
10.	COORDINATE SILL DETAILS WITH FLOORING LISTED ON FINISH SCHEDULE.
11.	FIRE RATED DOORS AND GLAZINGS SHALL BE PROPERLY LABELED PER IBC 716.3.

ABBREVIATIONS	
ALUM	ALUMINUM
EXIST	EXISTING
EXT ST	EXTERIOR STOREFRONT
FF	FACTORY FINISH
HGT	HEIGHT
HM	HOLLOW METAL
IN	INCH
INT ST	INTERIOR STOREFRONT
MAX	MAXIMUM
MIN	MINIMUM
THK	THICKNESS
PAINT	PAINT
PAR	PART
PTD	PAINTED
RESV	RESILIENT
R.O.	ROUGH OPENING
SCW	SOLID CORE WOOD
SIM	SMALL
STN	STAINED
WD	WOOD

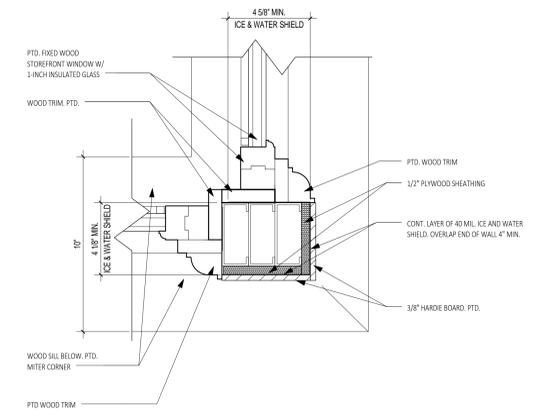
REV #	REV DATE



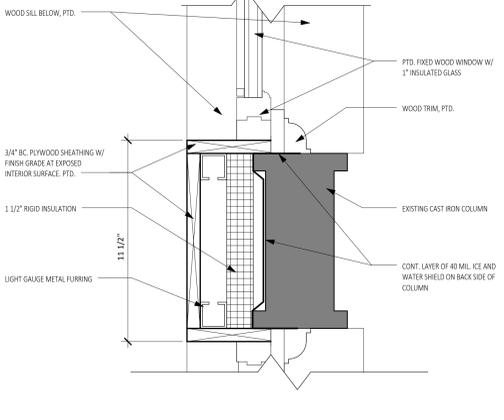
2 PROPOSED SF ELEVATION
SCALE: 1/2" = 1'-0"



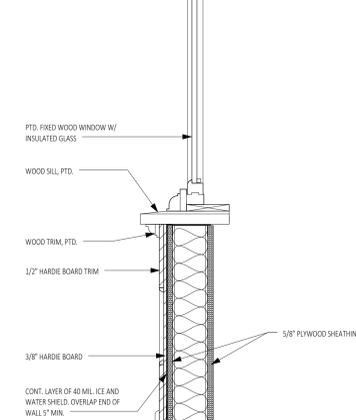
3 JAMB DETAIL AT DOOR
SCALE: 3" = 1'-0"



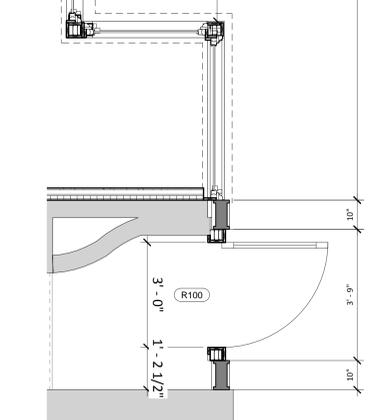
4 JAMB DETAIL AT CORNER
SCALE: 3" = 1'-0"



5 JAMB DETAIL AT WALL
SCALE: 3" = 1'-0"



6 SECTION THROUGH SF
SCALE: 1 1/2" = 1'-0"



1 ENLARGED STOREFRONT
SCALE: 1/2" = 1'-0"

10/5/2016 2:15:00 PM C:\Users\Lambert-User\Desktop\REVIT_locals\R251.15 Robinson Building - 3.3_local\jlb.rvt

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1619-1625 MAIN STREET
COLUMBIA, SC

REV #	REV DATE

STOREFRONT / WINDOW ELEVATIONS AND DETAILS
PROJ. NO.: R251.15
DRAWN BY: Author
DATE: 10.04.2016