



**DESIGN/DEVELOPMENT REVIEW COMMISSION  
SITE PLAN REVIEW  
CASE SUMMARY**

**1619-21, 1623-1625 MAIN STREET  
LAMBERT ARCHITECTURE AND CONSTRUCTION SERVICES  
MIXED-USE BUILDING WITH APARTMENTS**

**November 10, 2016 at 4:00pm**  
City Council Chambers, 3rd Floor, City Hall, 1737 Main Street  
Columbia, South Carolina 29201

<b>Subject Property:</b>	1619-21, 1623-1625 MAIN STREET
<b>TMS#:</b>	TMS#09014-10-11 and -12
<b>Zoning District:</b>	C-5, DD (Central Business District within the Design Development Review District)
<b>Council District:</b>	2
<b>Proposal:</b>	Request site plan approval to convert an existing building into a mixed-use development with 6 apartments
<b>Applicant:</b>	Lambert Architecture and Construction Services
<b>Proposed Use:</b>	Mixed-Use with Apartments
<b>Staff Recommendation:</b>	Approval with conditions as listed below.

<b>Detail:</b>	<p>This project entails the renovation of two buildings with a combined square footage of ± 18,000 sq. ft. into a mixed-use building with 6 apartments on .41 acre. The site plan provides 8 off-street parking spaces whereas none are required.</p> <p>Though there are many staff comments within this case summary, the proposed site plan largely meets requirements. Should the Commission be inclined to grant approval of the site plan, staff would request that the Commission grant approval subject staff comments.</p>
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<b>CITY AGENCY COMMENTS FOR CONCEPTUAL PLAN REVIEW</b>	
<b>John Fellows, Planning</b>	<b>Recommend approval.</b>
<b>K. Brian Cook, Zoning Administrator</b>	<b>Recommend approval with condition:</b> <ol style="list-style-type: none"> <li>1. Primary use shall not be a drinking establishment per 17-55 (Definitions) of the Zoning Ordinance.</li> </ol>
<b>Johnathan Chambers, Land Development Administrator</b>	<b>Recommend approval with conditions:</b> <ol style="list-style-type: none"> <li>1. Prior to the issuance of any permits, ingress and egress easement (allowing access to the apartments) to be reviewed, approved and recorded.</li> <li>2. Survey that delineates the above referenced easement must also be reviewed, approved and recorded prior to the issuance of any permits.</li> <li>3. A plat of consolidation may also be required.</li> </ol>

<b>Jerry Thompson, Building Official</b>	<b>Recommend approval with condition:</b> 1. Compliance with all applicable building codes.
<b>Scott Rogers, Utilities</b>	<b>Recommend approval with conditions:</b> 1. Any needed upgrade, extension or relocation of City utilities must be provided by the developer. 2. Any privately owned/maintained utilities or permanent structures cannot be located inside City of Columbia utility easements. 3. Water mains, sewer mains, water meters that are 4" or larger or any privately maintained utilities will not be allowed inside public right-of-ways or under sidewalks without an approved encroachment permit and written approval from the City Engineer. Coordination between the Civil Engineer, Architect and Mechanical Engineer to allow room for these utilities on the developed property is strongly encouraged. 4. If sewer flows for this project result in flows of 4,000 gallons per day or above calculations must be submitted to the City's Engineering department to determine how the proposed project will affect the City's sewer system. Depending upon the effects of the projected flows this project may or may not be approved. If required, these calculations should be submitted to the Engineering department as soon as possible.
<b>David Brewer, Traffic Engineering</b>	<b>Recommend approval.</b>
<b>Kris Scott, Fire Department</b>	<b>Recommend approval.</b>
<b>Sara Hollar, Forestry</b>	<b>Recommend approval with conditions:</b> 1. Existing trees and landscaping in right of way must be protected to keep all people, equipment and vehicles out of the area during construction.
<b>Michael Jaspers, Stormwater</b>	<b>Recommend approval with conditions:</b> 1. Design must meet all land disturbance requirements.
<b>John Spade, Parking</b>	<b>Recommend approval.</b>
<b>Robert Sweatt, Street Division</b>	<b>Recommend approval.</b>
<b>John Hooks, Solid Waste</b>	<b>Recommend approval.</b>

# City of Columbia

## 1621 and 1625 Main Street - Marks and Robinson Buildings



Tuesday, August 23, 2016



### CITY OF COLUMBIA GIS DATA DISCLAIMER

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# City of Columbia

## APPLICATION for

### SITE PLAN/SUBDIVISION PLAT REVIEW

OFFICE USE ONLY: Date Received \_\_\_\_\_ By \_\_\_\_\_

#### 1) APPLICANT (Please Print)

Name:	Scott Lambert	Company:	Lambert Architecture and Construction Services
Tel. #:	803-451-8359	Fax#:	
Mobile #:	803-920-0592	E-mail:	scott@lambertarchcs.com

Do you own any of the property affected by this application?  YES  NO; If NO, provide Letter of Agency

#### 2) THIS APPLICATION IS FOR (Check all that apply)

Group/Individual Commercial Development

Group Residential Development

Residential Subdivision

Planned Unit Development Site Review

#### 3) PROPERTY

Address:	1619-1621, 1623-1625 Main St		
TMS#:	R09014-10-12, R09014-10-11	Total Acreage:	
Current Use:	Retail	Proposed Use:	Retail, Restaurant, Apartments
Current Zoning:	C-5		
Number of Lots and/or Units:	6 Apartments	Total Sq. Ft.	17,961

#### 3) DETAILED PROJECT DESCRIPTION: (Attach additional paper if you need more space)

The project consists of the renovation of 2 historic buildings on Main St. The Robinson Building will have a bowling alley, bar, kitchen, and restaurant on the Main level with an apartment above on the second floor. The Marks building will connect to the Robinson Building and the main level will contain seating for the restaurant. The second level will be renovated to have 3 apartments and the third level will be renovated into 2 apartments.

#### 4) NEIGHBORHOOD CONSULTATION

Prior to the Planning Commission meeting, meet with the adjacent neighbors or neighborhood association to communicate details of the proposed project. Please note that this informational meeting is not required by ordinance, but is *strongly* encouraged. Contact information may be obtained from Zoning staff.

#### 5) PLAN SUBMITTAL

Please refer to the Checklist for Site Plan Review for materials required for submittal with this application

#### 6) SIGNATURE

Applicant Signature:	
Print Name:	SCOTT A. LAMBERT
Date:	8/9/16

PC Date: \_\_\_\_\_ Action: \_\_\_\_\_

N/F  
THE CITY OF COLUMBIA  
TMS#R09014-10-19

**GENERAL NOTES**

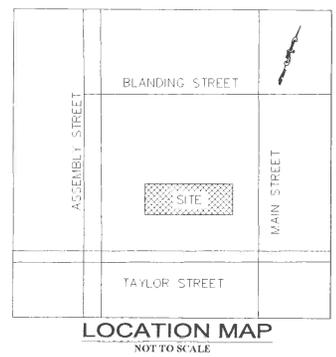
1. TOPOGRAPHIC SURVEY WAS CONDUCTED BY CHAO AND ASSOCIATES, INC. ON MAY 11, 2016 FOR RECORD. THE TOPOGRAPHIC SURVEY WAS PERFORMED BY F.E. TROD CONSULTING ENGINEERS.
2. OWNER: G. SCOTT HIGLE/SON, GSM PROPERTIES, LLC, 1624 MAIN STREET, COLUMBIA, SC 29201. WARDEN TRUSTEES, LLC, 1624 MAIN STREET, WARDEN TRUSTEES, LLC, TWO FLOORS 10-12, N2014-56-10-11 ZONING: C-1.5. DEVELOPMENT ADDRESS: 1621-1625 MAIN STREET, COLUMBIA, SC 29201. TOTAL AREA: 4.41 ACRES. DISTRICT AREA: 1.9 ACRES.
3. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 450303010A, DATED FEBRUARY 20, 2012, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X".
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCY BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCY BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCY BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.

**KEY NOTES**

1. NEW DRAINAGE ADDITION - SEE 7/CH
2. NEW CONCRETE AT NEW CURB
3. NEW P-100 COURTFACE
4. NEW ALUMINUM PICKET SECURITY FENCE
5. INSTALL 2" WIDE CONCRETE FLUSH BAND AROUND PERIMETER OF P-100 COURTFACE
6. NEW ASPHALT PAVEMENT PATH FOR SANITARY INSTALLATION
7. REPLACE BENCH PAPER, DISE AND ASPHALT AS REQUIRED FOR UTILITY INSTALLATION

**LEGEND**

NEW	EXISTING	DESCRIPTION
N/A	+	BENCHMARK/CONTROL POINT
N/A	+	PUBLICLY ACQUIRED
N/A	+	RIGHT OF WAY
N/A	+	CURB AND GUTTER
N/A	+	CONCRETE SIDEWALK
N/A	+	BENCH PAPER
①	N/A	KEY NOTE REFERENCE
①	N/A	EXTERIOR FENCE
①	N/A	ASPHALT PAVEMENT PATH



**LAMBERT**  
CONSTRUCTION SERVICES  
PLANNING  
ARCHITECTURE  
HISTORIC CONSULTING

1621 MAIN STREET, COLUMBIA, SC 29201  
803.733.1111  
WWW.LAMBERTCONSULTANTS.COM

REGISTERED PROFESSIONAL ENGINEER  
STATE OF SOUTH CAROLINA  
No. 12006  
EXPIRES 12/31/2018

REGISTERED PROFESSIONAL ARCHITECT  
STATE OF SOUTH CAROLINA  
No. 12006  
EXPIRES 12/31/2018

1621 MAIN ST.  
ROBINSON AND MARK'S BUILDING  
COLUMBIA, SC

DATE	REVISION

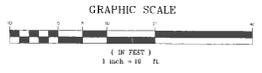
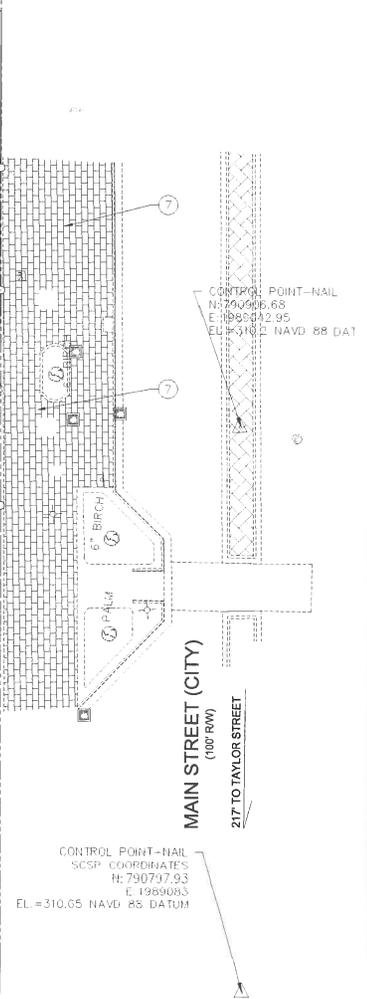
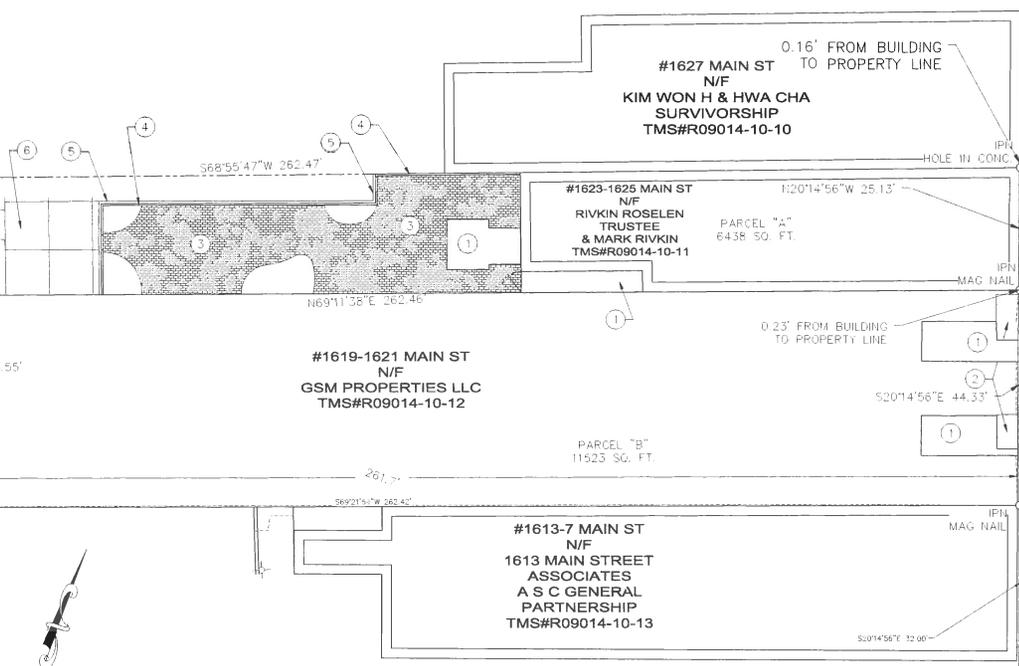
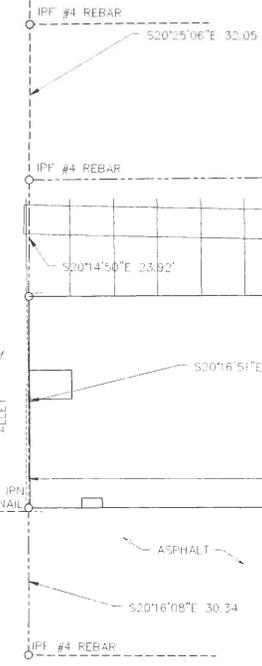
DATE	REVISION

**SITE LAYOUT PLAN**

PROJECT NO. 16-462  
DRAWN BY: TJC  
DATE: 8.9.2016

**C2.1**

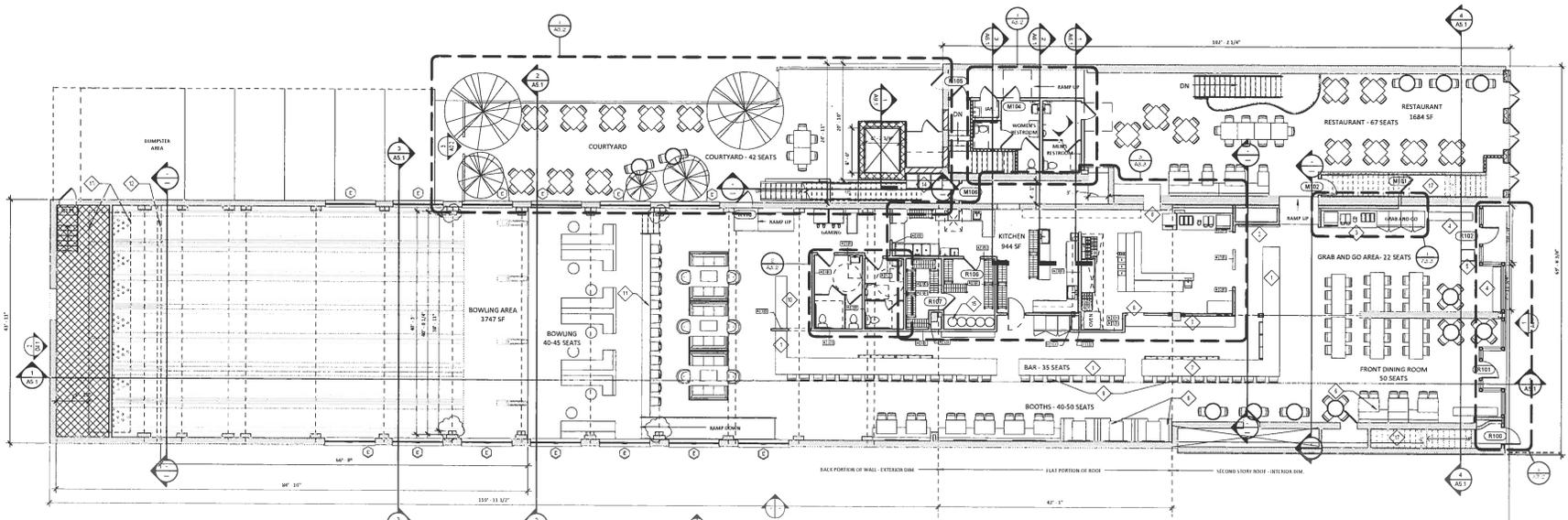
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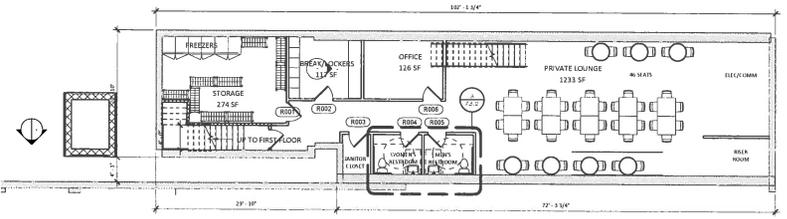
- GENERAL NOTES**
- SEE G-10 FOR MINIMUM REQUIRED ADA MANEUVERING CLEARANCES. VERIFY SEAT FEE LOCATIONS WITH ARCHITECT.
  - SEE G-10 FOR REQUIRED OR AS SHOWN FOR ALL FIRE-RISK SYSTEMS. ALL PENETRATIONS THROUGH RATED WALL AND FLOOR ASSEMBLIES MUST COMPLY WITH UL DESIGN FOR PENETRATIONS.
  - DOOR SWINGS INDICATED ON THESE DRAWINGS ARE TO FACE. FACE OF EXTERIOR VENEER, FACE OF STUD WALL, LINE OF CENTER OF CURVED WALLS OTHERWISE INDICATED. COORDINATE ALL DIMENSIONS WITH STRUCTURAL DIMENSION PLANS, FINISHED PLANS, SECTION AND DETAIL DRAWINGS, AND STRUCTURE DRAWINGS AND VERIFY EXISTING CONDITIONS. COORDINATE ALL FINISH AND PENETRATIONS WITH SYSTEM DRAWINGS (E.G., ME, PE, LP, AND IS) AND ALL OTHER PROJECTS TO BE INSTALLED AND VERIFY COORDINATION WITH ALL RELATED DRAWINGS PRIOR TO INSTALLATION.
  - INTERIOR METAL STUD OPENINGS TO RECEIVE SINKS, POINTS, SINKS, OVERS, OR OTHER FINISHES SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURE OF SYSTEM AND CORRECT WITH INDICATED CORRECTIONS. ALL LOCATIONS SHALL BE COORDINATED WITH LAMBERT PRIOR TO INSTALLATION.
  - SEE FRESH AIR SCHEDULES AND PLANS FOR FLOOR PATTERNS AND FLOOR FINISH REQUIREMENTS.
  - SEE ROOF PLAN FOR ROOF AND PARAPET DETAIL REQUIREMENTS. GENERAL ROOF NOTES AND ROOF DETAILS.

**KEYNOTE - FLOOR PLAN**

Plan Note ID	NOTE DESCRIPTION
1	POB
2	SLUING DOOR
3	DRINK STATION
4	WAITING BENCH
5	HOSTESS STAND
6	BUILT-IN SEATING (TYP)
7	CONCRETE COUNTERTOPS
8	SELL WINDOW
9	PICK-UP/DOWN BARSTOOLS (TYP)
10	BOWLING CHECK-IN
11	BALL STORAGE WITH DRINK RAIL
12	CURTAIN WALL (ABOVE)
13	CONSET FERS
14	TRASH CANS
15	KEGS
16	WINDOW TYPE "A" DEMOLISHED TO A NEW EXTERIOR DOOR TO ALLOW ACCESS APARTMENT FROM BACK OF BUILDING
17	EXISTING STAIRS TO REMAIN. STAIRS TO BE REFINISHED TO BE BROUGHT UP TO CODE. NEW CODE REQUIRED HANDRAILS TO BE ADDED AS NEEDED



**1 MR - FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**2 BASEMENT MARKS BLDG**  
SCALE: 1/8" = 1'-0"

**LAMBERT**  
ARCHITECTURE  
CONSTRUCTION SERVICES

architecture construction services planning historic consulting  
1511 MAIN STREET, COLUMBIA, SOUTH CAROLINA 29201  
PROJECT NO. 251157 WWW.LAMBERTARCH.COM

1621 MAIN STREET  
ROBINSON AND MARKS BUILDING  
COLUMBIA, SC

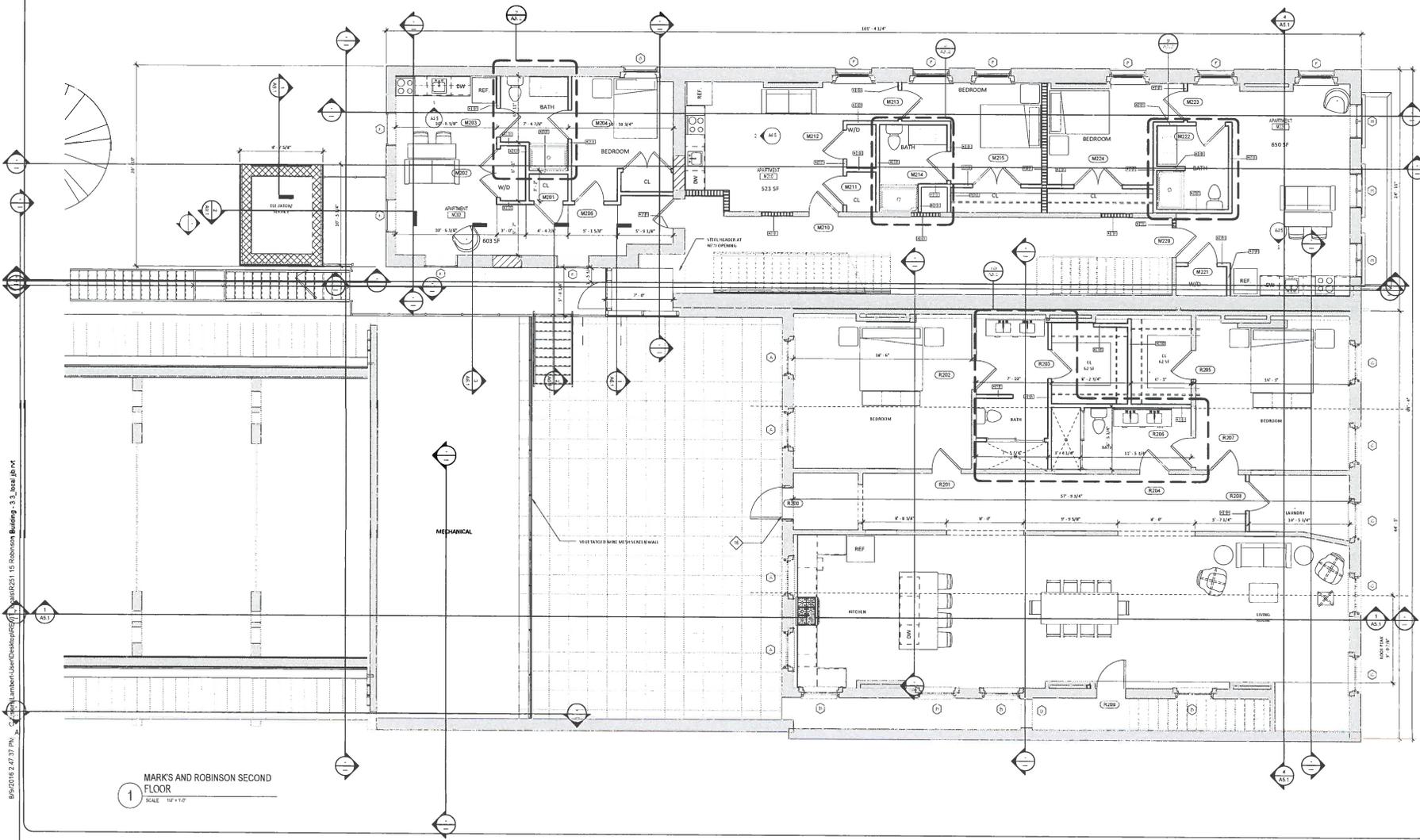
**FIRST FLOOR PLAN**

PROJ. NO.: R25115  
DRAWN BY: Author  
DATE: 08.08.2015

**A1.1**

B:\P2018 2-07 37 PM - 37\100\1\ Lambert User\Drawings\RF\1611251 15 Robinson Building - 3\_3\_Loc1.dwg

- GENERAL NOTES**
1. SET OUT FOR MINIMUM REQUIRED AREA MARKETING CLEARANCE. VERIFY EXACT FIBER LOCATIONS WITH ARCHITECT.
  2. SEE FOR REQUIRED DIMENSIONS OF ALL BUILDING SYSTEMS. ALL PENETRATIONS THROUGHOUT FLOOR WALL AND FLOOR ASSEMBLIES MUST COMPLY WITH ALL DESIGN REQUIREMENTS.
  3. DIMENSIONS INDICATED ON THESE DRAWINGS ARE TOTALS OF WALL FACE TO EXTERIOR FINISH. TAKE UP STUD WALL, OR CENTERLINE OF COLUMN UNLESS OTHERWISE INDICATED. COORDINATE ALL PENETRATIONS WITH ARCHITECT, CONSTRUCTION, TRADES PLANS, SERVICES AND TRADES DRAWINGS, AND STRUCTURAL DRAWINGS AND VERIFY EXACT LOCATIONS. COORDINATE ALL FLOOR SLAB PER FORATIONS WITH STRUCTURAL ENGINEER, ME, PE, PPE, AND TRADES AND TRADES PRIOR TO INSTALLATION AND VERIFY LOCATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
  4. WITH NON-METAL VENT OPENINGS TO EXISTING VENT FROM, DUCTS, CHIMNEYS, OR OTHER ELEMENTS SHALL BE FIELD WELDED PRIOR TO MANUFACTURE OF VENTING. ANY CORNER TO WHICH WELDED TO DIMENSIONS OR LOCATIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
  5. SEE FINISH SCHEDULES AND PLANS FOR FLOOR PATTERNS AND FLOOR FINISH REFERENCES.
  6. SEE ROOF PLAN FOR ROOF AND PARAPET DETAIL REFERENCES. GENERAL ROOF NOTES AND ROOF LEGEND.



1 MARKS AND ROBINSON SECOND FLOOR  
SCALE: 1/8" = 1'-0"

**LAMBERT**  
ARCHITECTURE  
CONSTRUCTION SERVICES PLANNING HISTORIC CONSULTING  
1000 W. 10TH STREET, SUITE 100  
COLUMBIA, SC 29201  
TEL: 803.733.1111 FAX: 803.733.1112  
WWW.LAMBERTARCHITECT.COM

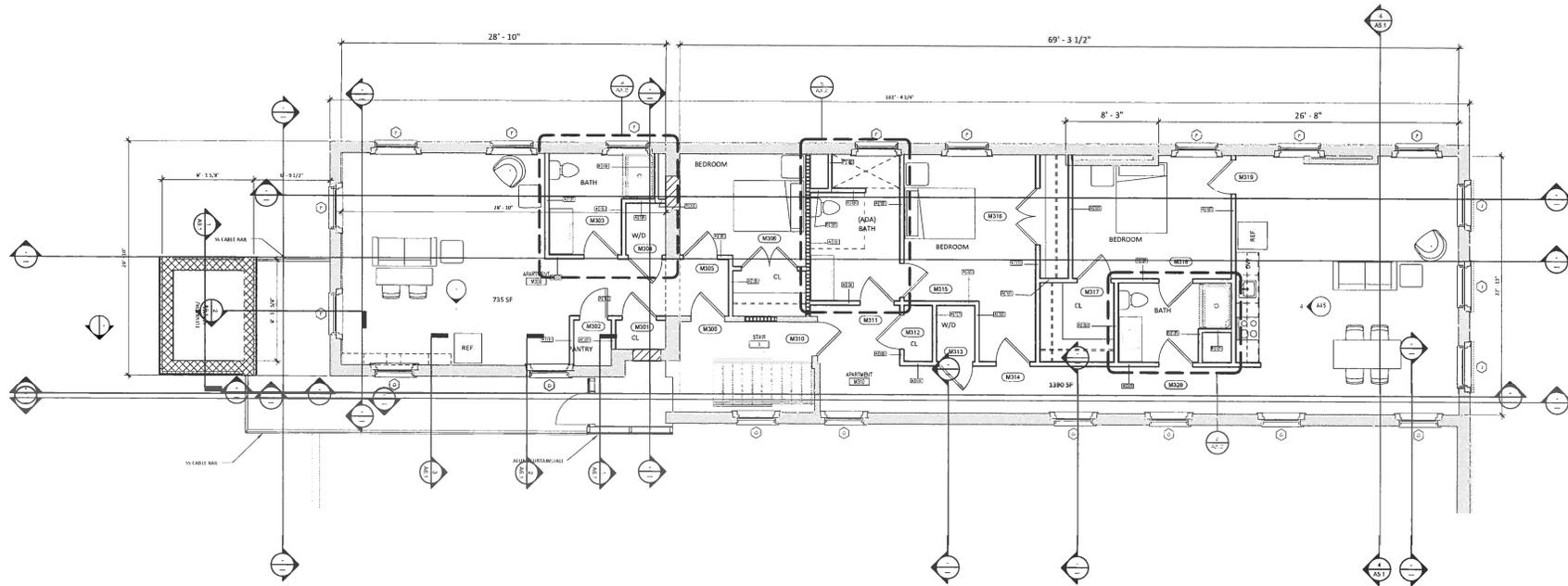
1621 MAIN STREET  
ROBINSON AND MARKS BUILDING  
COLUMBIA, SC

SECOND FLOOR PLAN

PROJ NO: R251 15  
DRAWN BY: AJM  
DATE: 08.08.2016

A1.2

8/9/2016 2:47:38 PM C:\Users\Lambert\OneDrive\REVIT\_Installs\251.15 Robinson Building - 3\_3\_local.rvt



1 MARKS THIRD FLOOR - OPTION LAYOUT A  
SCALE: 1/8"=1'-0"

- GENERAL NOTES**
- SEE AIA FOR MINIMUM REQUIRED ADA MAKEOVERING CLEARANCES. VERIFY EXACT FOR LOCATIONS WITH ARCHITECT.
  - SEE GRID FOR REQUIRED ASSEMBLIES OF ALL BUILDING SYSTEMS. ALL PENETRATIONS THROUGH WALLS AND FLOOR ASSEMBLIES MUST COMPLY WITH THE DESIGN FOR PENETRATIONS.
  - SHOWROOM INDICATES ON THESE DRAWINGS ARE TO BE SET OF WALL FACE OR EXTENSION CENTER FACE OF THIS WALL OR CENTERLINE OF COLUMN UNLESS OTHERWISE INDICATED. COORDINATE ALL INTERIORS WITH STRUCTURAL DRAWINGS, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS, AND STRUCTURAL DRAWINGS AND VERIFY EXACT LOCATIONS. COORDINATE ALL FLOOR SLAB PENETRATIONS WITH STRUCTURAL DRAWINGS. SEE, P.E., P.P., AND T/S AND AT TIME PROCEED TO BE INSTALLED AND VERIFY LOCATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
  - VERIFY METAL STUD OPENINGS TO RELEVANT SYSTEMS, DESIGN, ORIGIN, LOCATION, OR OTHER ELEMENTS SHALL BE FIELD VERIFIED PRIOR TO MARKING THE LOCATION AND CONFLICT WITH RELEVANT DRAWINGS OR LOCATIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
  - SEE FINISH SCHEDULES AND PLANS FOR FLOOR PATTERNS AND FLOOR FINISH REFERENCES.
  - SEE ROOF PLAN FOR ROOF AND PARAPET OF FLOOR REFERENCES, GENERAL ROOF NOTES AND ROOF ELEVATION.

**LAMBERT**  
ARCHITECTURE CONSULTANTS SERVICES PLANNING HISTORIC CONSULTING  
521 MAIN ST. COLUMBIA, SOUTH CAROLINA 29201  
PHONE: 803.733.2223 WWW.LAMBERTARCH.COM

1621 MAIN STREET  
ROBINSON AND MARKS BUILDING  
COLUMBIA, SC

THIRD FLOOR PLAN

REV.	DATE

PROJ. NO.: 251.15  
DRAWN BY: AHC  
DATE: 08.08.2016

**A1.3**

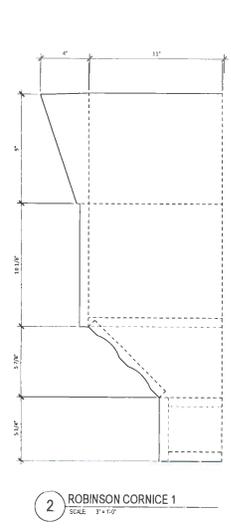
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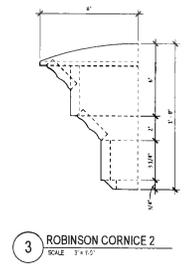
KEYNOTE - ELEVATION	
Plan Note ID	NOTE DESCRIPTION
2	EXISTING STONE PARAPET CAP
3	EXISTING BRICK INLAYS
4	HISTORICALLY REPLICATED WOOD CURVED WINDOW TRIM
5	NEW HISTORICALLY REPLICATED CORNICE MOULDING
6	NEW AWNINGS
7	NEW WOOD STOREFRONT SYSTEM
8	NEW LARGE PICTURE WINDOWS
9	EXISTING BRICK
10	EXISTING CAST STONE
11	EXISTING STUCCO INLAYS
12	EXISTING PARAPET
13	NEW HISTORIC WOOD WINDOW TRIM AND WINDOWS
14	EXTEND EXISTING WINDOW TRIM DOWN TO PORCH ELEVATION AS SHOWN IN IMAGE TO THE RIGHT
15	EXISTING STUCCO TO BE RESTORED
16	NEW BALCONY RAILING REPLICATION WITH WOOD AND STEEL - TO MATCH EXISTING
17	NEW STEEL SUPPORT
18	NEW MASONRY AND STUCCO COLUMNS
19	NEW HISTORIC DOUBLE DOORS
20	ACM PANELS ON NEW ELEVATOR TOWER
21	NEW BRICK SCREEN WALL
22	NEW METAL ROOF FURRED ONTO EXISTING ROOF AND STRUCTURE
23	STANDING SEAM METAL ROOF
24	STAINLESS STEEL CABLE RAILING
25	STEEL BRACKETS
26	ALUM. CUTTER AND DOWNSPOUT
27	ALUM. CURTAINWALL

**RENOVATION NOTES**

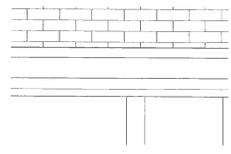
1. EXISTING STOREFRONT TO BE REPLACED PER HISTORICAL DESIGN RESEARCH.



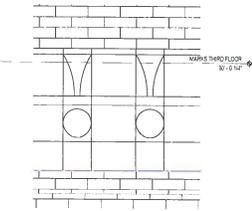
2 ROBINSON CORNICE 1  
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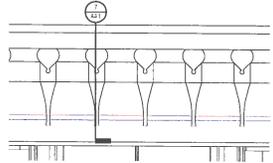
3 ROBINSON CORNICE 2  
SCALE 1/2"=1'-0"



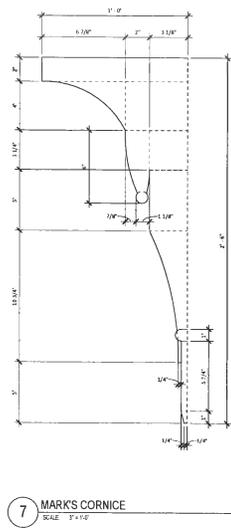
5 ROBINSON CORNICE 2 ELEVATION  
SCALE 1/2"=1'-0"



4 ROBINSON CORNICE 1 ELEVATION  
SCALE 1/2"=1'-0"



6 MARK'S CORNICE ELEVATION  
SCALE 1/2"=1'-0"



7 MARK'S CORNICE  
SCALE 3/4"=1'-0"

**LAMBERT ARCHITECTURE**  
CONSTRUCTION SERVICES  
ARCHITECTURE construction services planning historic consulting

600 W. MAIN STREET, COLUMBIA, SC 29201  
1621 MAIN STREET, COLUMBIA, SOUTH CAROLINA 29201  
PH: 803.732.1234 FAX: 803.732.1235  
WWW.LAMBERTARCHITECTURE.COM

THE ARCHITECTURE OF THE ROBINSON AND MARK'S BUILDINGS IS A HISTORIC RESOURCE AND SHOULD BE PRESERVED AND RESTORED TO ITS ORIGINAL APPEARANCE. THE ARCHITECTURE OF THE ROBINSON AND MARK'S BUILDINGS IS A HISTORIC RESOURCE AND SHOULD BE PRESERVED AND RESTORED TO ITS ORIGINAL APPEARANCE.

1621 MAIN STREET  
ROBINSON AND MARK'S BUILDING  
COLUMBIA, SC

REV#	DATE	DESCRIPTION

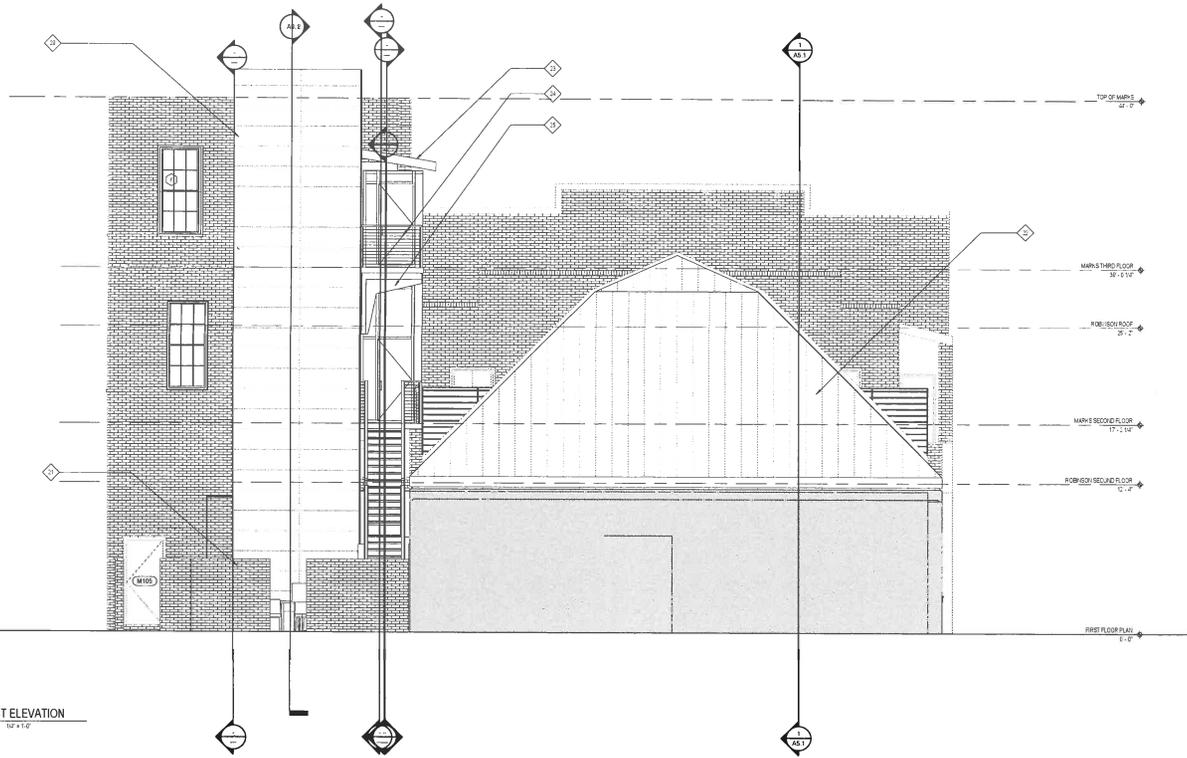
EXTERIOR ELEVATION & DETAILS

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DRAWN BY: Aubrey  
DATE: 08.08.2016

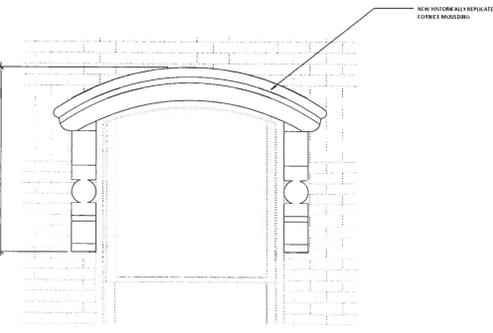
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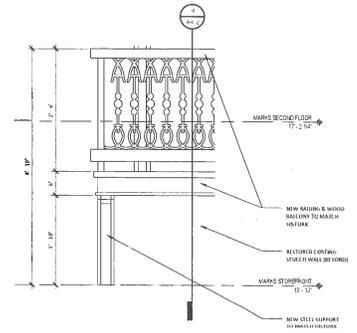
1 WEST ELEVATION  
SCALE: 1/2" = 1'-0"



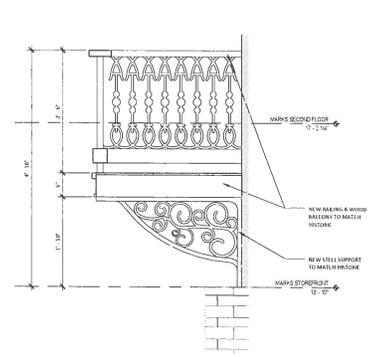
KEYNOTE - ELEVATION	
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25	STEEL BRACKETS
26	ALUM GUTTER AND DOWNSPOUT
27	ALUM CURTAINWALL



2 ROBINSON ENLARGED WINDOW TRIM  
SCALE: 1/4" = 1'-0"



3 MARK'S ENLARGED BALCONY DETAIL  
SCALE: 1/4" = 1'-0"



4 SECTION THROUGH MARKS BALCONY/HANDRAIL  
SCALE: 1/4" = 1'-0"

**LAMBERT**  
ARCHITECTURE  
CONSTRUCTION SERVICES  
architectural construction planning historic consulting  
P.O. BOX 1000 COLUMBIA, SC 29201  
731.546.6700 FAX 731.546.6701  
WWW.LAMBERTARCHITECTURE.COM

1621 MAIN STREET  
ROBINSON AND MARKS BUILDING  
COLUMBIA, SC

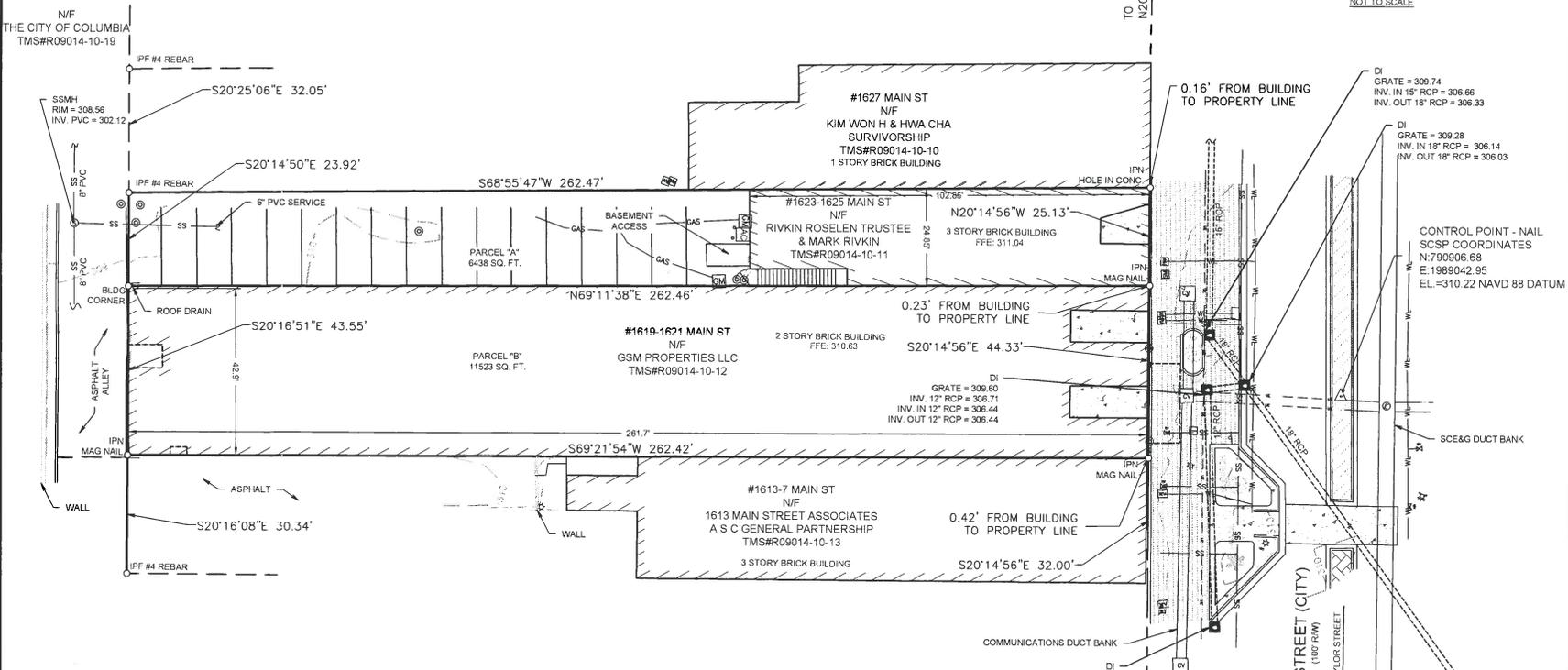
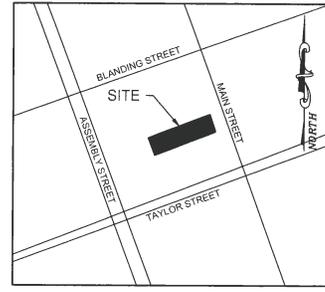
EXTERIOR ELEVATIONS &  
FACADE DETAILS

PROJ. NO.: R25115  
DRAWN BY: AUBOF  
DATE: 08/08/2016

A4.2



LEGEND	
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	GAS METER
	GAS VALVE
	SANITARY SEWER MAN-HOLE
	SEWER METER
	SEWER VALVE
	CLEANOUT (CO)
	NATURAL GAS LINE
	SANITARY SEWER LINE (MATERIAL UNKNOWN)
	WATER LINE
	CONC. CURB & GUTTER
	JUNCTION BOX (JB)
	DROP INLET (DI)
	STORM DRAIN PIPE
	CONCRETE SIDEWALK
	POWER POLE & GUY
	LIGHT POLE
	TELEPHONE PED
	COMMUNICATION VAULT



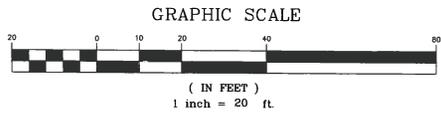
**FLOOD CERTIFICATION**  
I HEREBY CERTIFY THAT I HAVE CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, "FLOOD INSURANCE RATE MAP", MAP NUMBER 450790082H, PANEL NUMBER 82 OF 275, EFFECTIVE DATE: 2/20/2002, I HAVE DETERMINED THAT THE ABOVE SITE LIES WITHIN AN UNSHADED ZONE "X".

**EXEMPTION FROM REVIEW PROCESS**  
THIS PLAT IS A SURVEY OF AN EXISTING LOT OF RECORD WITH NO CHANGES TO EXISTING LOT DIMENSIONS.

**I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.**

- REFERENCES:**
1. TMS#R09014-10-13, PLAT BOOK 51 PAGE 217
  2. TMS#R09014-10-12, DEED BOOK #2622 PAGE 3256, PLAT BOOK D PAGE 110
  3. TMS#R09014-10-11, DEED BOOK R1591 PAGE 794
  4. TMS#R09014-10-01, PLAT BOOK R1677 PAGE 432, PLAT BOOK 15 PAGE 121
  5. TMS#R09014-10-10, PLAT BOOK V PAGE 133, PLAT BOOK 3 PAGE 2
  6. TMS#R09014-10-18, PLAT BOOK R89 PAGE 885

PARCEL "A" 6438 SQ. FT.  
PARCEL "B" 11523 SQ. FT.  
TOTAL = 17961 SQ. FT.



**Chao & Associates, Inc.**  
Civil - Structural - Survey  
7 Clusters Court  
Columbia, SC 29210  
Voice: (803) 772-8420  
Fax: (803) 772-9120  
Email: consult@chaoinc.com



**Boundary and Topo Survey**  
Prepared For  
Mashburn Construction Company, INC  
In the City of Columbia  
Richland County SC

Drawn: GHH & TKS Checked: AB  
Revised:  
FEB: 27 PG: 1  
File: 1619 Main.dwg  
Project No.: 550602-16



**V1.0**  
Sheet Number  
May 10, 2016