

D/DRC Case

1121 Daly Street

Melrose Heights / Oak Lawn Architectural Conservation District

TMS: R13901-12-05

DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
CONSENT AGENDA
EVALUATION SHEET
Case # 1

ADDRESS: 1121 Daly Street

APPLICANT: Frances Cameron, homeowner

TAX MAP REFERENCE: TMS#13901-12-05

USE OF PROPERTY: Residential

REVIEW DISTRICT: Melrose Heights/Oak Lawn Architectural Conservation District,
Bailey Bill

NATURE OF REQUEST: Request Certificate of Design Approval for exterior change (porch enclosure)

FINDINGS/COMMENTS:

This is a c.1947 single-family home with brick veneer exterior that contributes to the Melrose Heights/Oak Lawn Architectural Conservation District. The owner has received preliminary certification for the Bailey Bill and has done some repairs to the interior of the building. The current proposal is to re-open a bricked-in side porch and install glass in most of the opening on each side, which will return the porch to an appearance more consistent with its original intent. The building had vinyl siding placed in the side gables many years ago and it is noted on the drawing supplied by the applicant; it is an existing item and is not a new feature being proposed.

BAILEY BILL ORDINANCE

Sec. 17-698. Eligible rehabilitation.

Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

1. The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.

The character will be retained and no historic material is being removed or altered.

2. Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.

Not applicable.

3. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not applicable.

4. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.*

No historic features are being removed.

5. *Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The front arch in the porch has been altered by the removal of the header course of bricks that delineated the arch; this detail is still evident on the back wall of the porch and will be recreated on the front, restoring a feature that was originally on the building.

6. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

No chemical or physical treatments are being proposed.

7. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.*

The exterior alteration proposed will clearly be different from the original parts of the house as it will be installed in an area that was originally open. The brick will remain in the bottom 18 inches of the porch openings, but the remaining opening will be composed of glass and minimal framing.

8. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Not applicable.

PERTINENT SECTIONS FROM THE GUIDELINES

Section 7-7. PORCHES

a. Principles

Porches serve as a covered entrance to buildings and a transitional space between the interior and exterior and are an important design feature on a house. They are often the principal location for ornamentation and detailing, such as brackets, posts and columns, and balustrades. Size, style, ornateness or simplicity, sense of openness, and detailing are all important attributes of porches. Such features should be preserved during the course of rehabilitating a building. Because they are open to the elements, porches also require frequent maintenance and repair. Deteriorated porch features should be repaired rather than replaced. If replacement proves necessary, replacement features and materials should approximate the originals as closely as possible. If wholesale replacement is required, the new porch should be rebuilt based on historical research and physical evidence. If a porch or individual features of it are missing and no documentation or physical evidence is available, a new porch design that is compatible with the scale, design, and materials of the remainder of the building is appropriate. It is appropriate in the Melrose Heights/Oak Lawn district to replace missing or deteriorated features with compatible ones found on similar structures in the district. Owners are often tempted to enclose porches for additional year round living space. Although porch enclosures are generally not recommended, they can be done in an appropriate manner. Transparent materials, such as clear glass enclosures or screens that are set behind balustrade and structural systems and maintain the visual openness of a porch are permitted.

b. Guidelines

i. Retain porches and steps that are appropriate to a building.

The porch is being retained.

ii. If replacing deteriorated or missing features, it is appropriate to use other homes of the same style and period for the design of the new feature, as long as it is compatible with the structure.

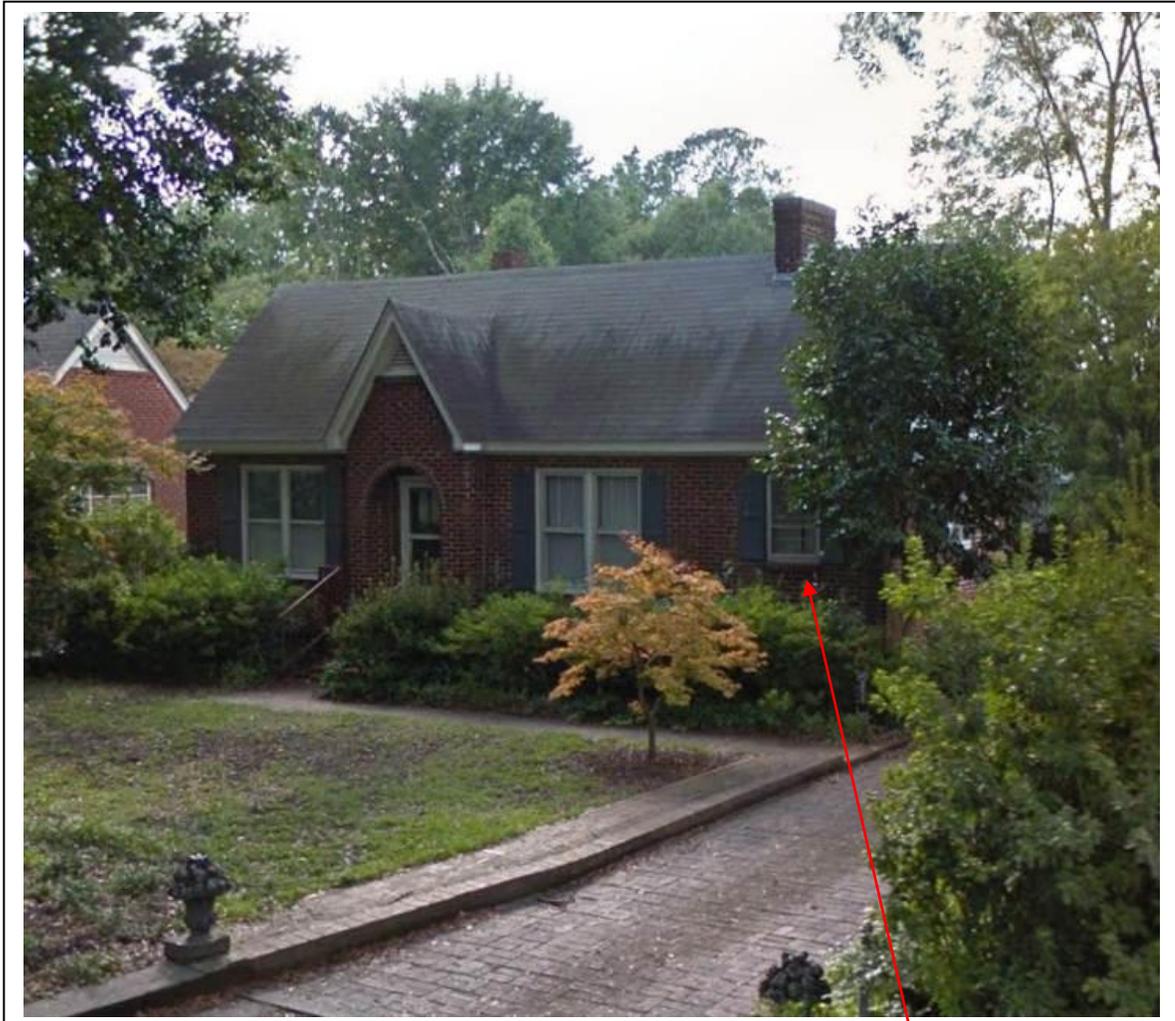
No deteriorated or missing features are being replaced.

iii. If enclosures are undertaken, maintain the openness of porches through the use of transparent materials such as glass or screens. Place enclosures behind significant detailing, so that the detailing is not obscured.

The replacement of most of the brick with glass in the openings of the side porch will meet this guideline as it will utilize a transparent material and will not obscure the original brick columns on the porch. The front of the porch has an arch and the glass needs to be cut to fill the entire “true radius,” which places the framing along the base of the arch, above two square windows. The side elevation, which is not highly visible, has a straight top with no arch; this will allow for two sets of 1/1 double hung sash windows, aluminum-clad wood, with a mullion between the pair. The remaining brick wall below these windows will match the height of the wall on the front of the porch, about 18 inches.

STAFF RECOMMENDATIONS:

Staff recommends a Certificate of Design Approval as the proposal meets the Bailey Bill ordinance and Section 7 of the guidelines, with all details deferred to staff.



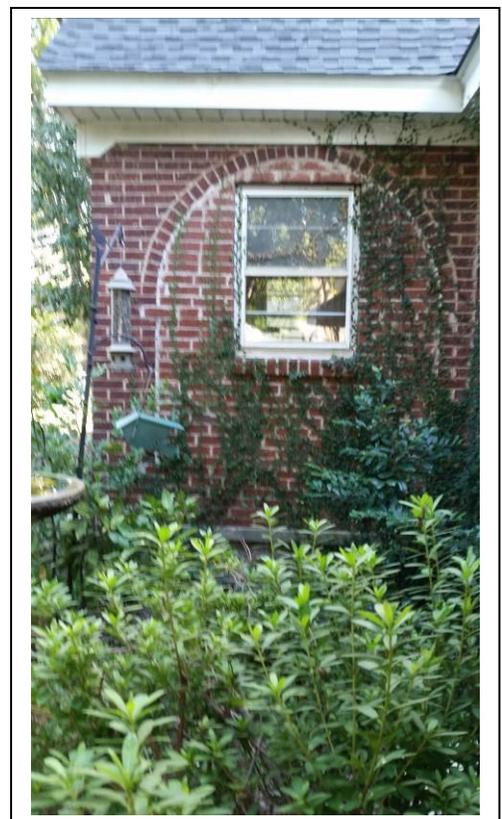
Google image, location of proposed porch re-opening and enclosure



Staff photo

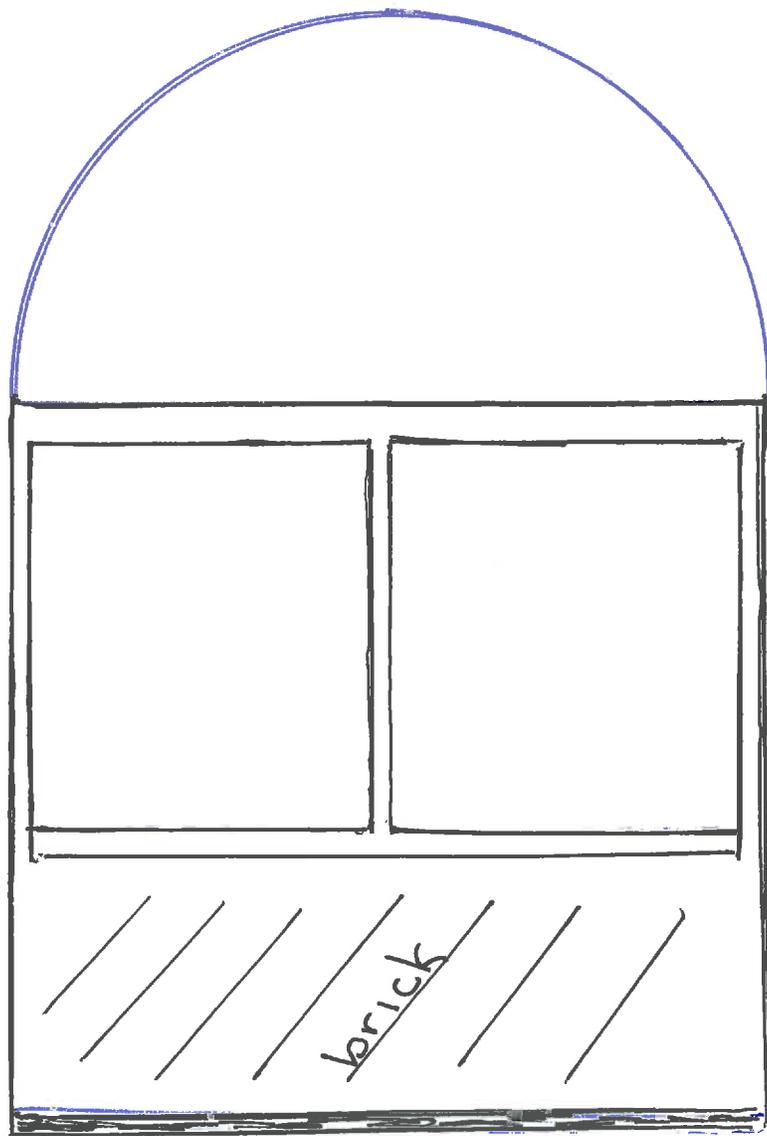


Photos provided by applicant show front of house, oblique view, side of porch and rear of porch, which has the best evidence of the brick detailing that will be restored on the front



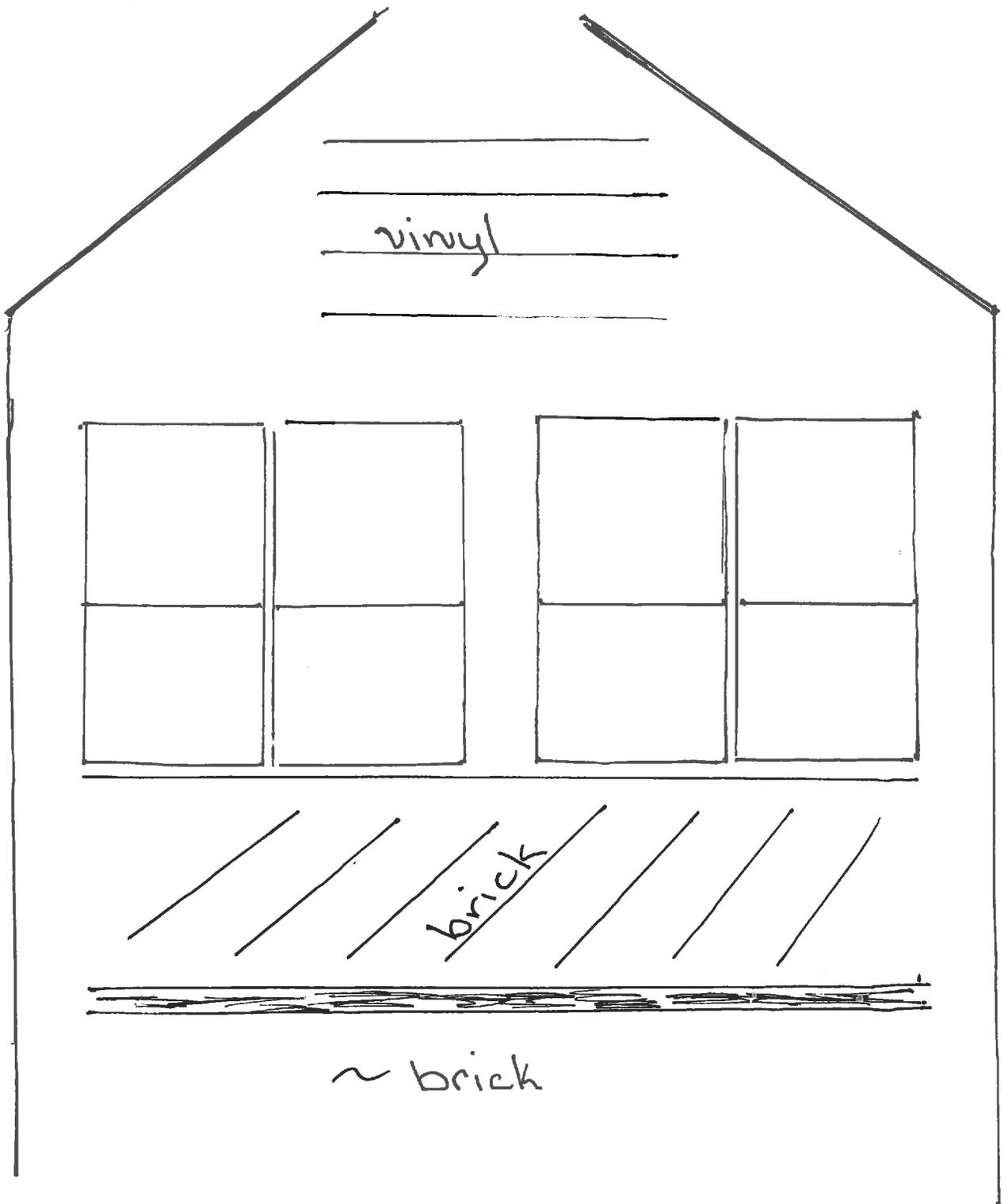


Staff photo of enclosed side porch in the same neighborhood



concrete pad

~ brick ~



vinyl

brick

~ brick

concrete pad

Front and rear window dimensions

Height of window unit	75"
Width of window unit	70"
Height of radius window	35"
Dimensions of lower windows	2'10" width x 3'4" height
Distance of window unit to floor	19"
Exterior distance of window to ground	36"

Driveway area window dimensions

2 sets of two double hung windows with 7 " space between units

Window area	141" width x 72" height
Dimensions of each of 4 windows	2'8" width x 6'2" height
Distance from concrete pad to bottom of windows	19"

Remodeling and Additions:

#2 exterior materials

- Windows
 - Aluminum clad
 - 2 fixed radius windows
 - 4 non-operable windows – no muntins (front and back)
 - 4 double hung windows with no muntins (side)
- Trim between double hung windows
- Approximately 100 original bricks to be used to correct the front radius and improvements on the front and rear window units.. Additional masonry work as possible

Material changes:

#1 to approve both the appearance and quality of the windows in the existing bricked-in porch and create a cohesive appearance of 1121 Daly with homes of similar structure and porch enclosures.