



02/27/2015

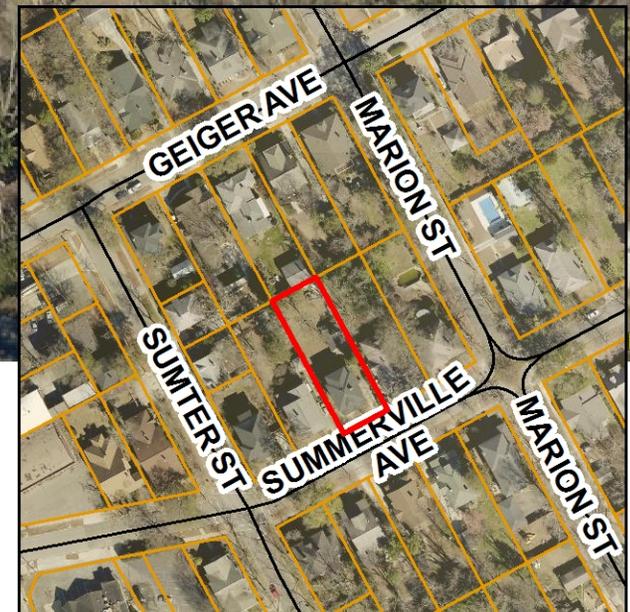


D/DRC Case

1311 Summerville Avenue

Cottontown Architectural Conservation District

TMS: 09113-02-04



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case # 10

ADDRESS: 1311 Summerville Avenue

APPLICANT: Joannie & Mike Nickel, homeowner

TAX MAP REFERENCE: TMS# 09113-02-04

USE OF PROPERTY: Residential

REVIEW DISTRICT: Cottontown/Bellevue Architectural Conservation District

NATURE OF REQUEST: Request Certificate of Design Approval for an addition

FINDINGS/COMMENTS:

This is a contributing two-story Foursquare, featuring a full front porch, low-pitched hip roof, a large central dormer, and exposed rafter tails in the eaves. An addition at the rear of the home was added at some point; only details from the first floor are visible from the public right-of-way. The owners would like to construct a more substantial addition there. The plans also show a proposed patio and outdoor kitchen which fall outside the scope of this evaluation.

Please note that the window configuration shown on the renderings is incorrect; the windows on the home have a 4/1 or 5/1 pane configuration (or if sized differently, a proportionally appropriate version). Also, the two smaller windows shown on the left elevation of the extant home are not reflective of the actual size of the existing windows, which are just slightly smaller than the other full-size windows on the house.

Staff discovered some discrepancies in dimensioning which make an accurate assessment of the scale and massing difficult. The owners would like to keep the small transom windows on the second floor of the addition, which do not meet the guidelines, rather than full-sized windows.

PERTINENT SECTIONS FROM THE GUIDELINES

SECTION VI GUIDELINES FOR ADDITIONS/ENCLOSURES TO EXISTING BUILDINGS

A. Principles

It is often necessary to increase the space of a building in order for it to continue to adapt to the owner's needs. Over time, a family's / business's space needs change and, in order to accommodate these needs a building may need to be enlarged. While these additions are permitted, they should serve to reinforce and not detract from the existing architectural form and design of the building.

Additions shall not significantly alter original distinguishing qualities of buildings such as basic form, materials, fenestration, and stylistic elements. They shall be clearly distinguished from original

portions of the building and shall result in minimal damage to it. Character defining features of the historic building shall not be radically changed, obscured, damaged, or destroyed in the process of adding new construction. The size and scale of the new addition shall be in proportion to the historic portion of the building and clearly subordinate to it. Additions should be attached to the rear or least conspicuous side of the building. They should be constructed so that if removed in the future, the essential form and integrity of the building will be unimpaired.

B. Guidelines

1. *Site additions so that they do not detract from or obstruct important architectural features of the existing building or others around it, especially the principal façade.*

There is what appears to be a one-story addition on the back of the home; a few feet of siding, a window, and roofing is visible and its details match those of the home. The proposed new addition incorporates this earlier one, pulling it up to the full two-story height, shifting the existing cornerboard over to the new edge which then recesses about 8" where additional square footage begins. The 8" recession is intended to distinguish the original footprint from the later construction. The cornerboard is shifted in an effort to indicate where the older one-story addition stops and the new construction begins; staff is appreciative of the attempt but it ends up changing the understanding of the original footprint and proportions of the home. Staff would recommend keeping the original cornerboard in place and recessing back from this point while perhaps finding other gestures to reference the one-story addition. Staff has drawn in the approximate location of the extant cornerboard on a rendering in the packet for clarification. This is actually the point at which the addition should step in 8-12".

2. *Design additions to be compatible with the original structure in materials, style and detailing.*

The owners have cement fiberboard siding currently on the home and they plan to use this for the siding on the addition. New trim, cornerboards, etc., should be visually compatible with the original detailing on the house. New windows may be aluminum clad wood windows if their profile and detailing is good and should match the configuration of the historic windows or proportionately appropriate versions of this. Staff is happy to work with the owners on these details.

3. *Limit the size and scale of additions so that the integrity of the original structure is not compromised.*

Staff is unsure as to the actual size of the addition. It is shown as 13' in length but dimensions from the interior of the house show both 13' and 16' for the same area. Additionally, since the cornerboard has shifted to the right in this proposal, the new addition could look smaller on the plans than it potentially is.

The size of additions are typically limited so as not to detract from the original building; if the desired new square footage is close to that of the original footprint of the home, then a small hyphen is generally recommended and has been successfully used to separate the massing of the two structures and to allow the original structure to read properly. If the renderings (rather than the

dimensions) accurately portray the scale, then staff would recommend incorporating a hyphen between the buildings rather than attaching directly to the home.

4. *Additions are also subject to the guidelines for new construction.*
Please see below.

SECTION V GUIDELINES FOR NEW CONSTRUCTION (pertinent guidelines only cited)

1. **Height:** *The characteristic height in Cottontown/Bellevue is 1-2 stories. Construct new buildings to a height that is compatible with the height of surrounding historic buildings.*
The height of the addition is in keeping with the original building.
2. **Size and Scale:** *The size and scale of a new building shall be visually compatible with surrounding buildings. Do not construct buildings that disrupt the existing scale of the area.*
Staff is unsure as to the scale of the addition at this point in time. Exterior dimensions point to it being 13' in length but interior dimensioning indicate differently. The cornerboard has also been re-located. Given these things, it is difficult to assess the scale of the addition and its impact on the existing structure. Smaller additions may be recessed from the edge of the building while larger additions employ a hyphen to separate them from the original structure.
3. **Massing:** *Arrange the mass of a new building (the relationship of solid components (ex. wall, columns, etc.) to open spaces (ex. windows, doors, arches)) so that is compatible with existing historic buildings on the block or street. Break up uninteresting boxlike forms into smaller, varied masses is essential to maintaining the character of the streetscape. Do not construct single monolithic forms that not relieved by variations in massing.*
There should be more full-size windows on the second floor to be compatible with historic patterns on the block and those already established on this house. Also, the addition may be larger than presently understood and therefore increasing the ratio of full-size openings to the solid mass becomes even more important. Staff presented alternatives such as faux windows to the owners.
6. **Rhythm of openings:** *construct new buildings so that the relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) are visually compatible with historic buildings on the block or street. Maintain a similar ratio of height to width in the bays of the façade. Do not introduce incompatible façade patterns that upset the rhythm of openings established in surrounding structures.*
The rhythm of openings is not visually compatible with historic patterns where full-size windows dominate and an occasional smaller window might make an appearance. The very small transom windows at the second floor of the addition do not represent the rhythm of solids to voids that is typically seen on historic homes; on an addition to a historic home, this is particularly important.
7. **Roof shape:** *Use roof shapes, pitches, and materials that are visually compatible with those of surrounding buildings. Nearly all of the buildings in Cottontown/Bellevue have pitched roofs, with gable, hip or a combination thereof as the predominant style.*
The roof shape is consistent with the original structure.

9. Materials, Texture, and Details: *Use materials, textures, and architectural features that are visually compatible with those of historic buildings on the block or street. When selecting architectural details, consider the scale, placement, profile, and relief of details on surrounding structures for the basis of design decisions.*

Cement fiberboard to match that on the main house will be used for the addition. Staff is happy to work with the owners on window profiles and materials and any details for trim, etc., which are outstanding.

STAFF RECOMMENDATIONS:

Staff finds that assessing the scale and massing of the proposed addition is difficult since the exterior dimensions point to it being 13' in length but interior dimensioning indicates differently.

Given that the addition appears equal or very close to the length of the original four square massing, staff recommends that a hyphen be provided to clearly indicate the massing of the original structure. This technique has been recommended by the DDRC on similar projects and successfully provides clarity with regard to massing. More definitive information is needed before making that decision. There are a few options—the case could be deferred until the following month or if the DDRC and the applicant are comfortable with staff working with the applicant on a hyphen (if staff judges it is needed after clarification of information), then the DDRC could defer the case and all its details to staff.

Staff recommends for denial of the transom windows as they do not meet Section V of the Guidelines for New Construction nor Section VI, Guidelines for Additions/Enclosures to Existing Buildings.





Examples of previously approved large additions to historic homes which utilized hyphens—the arrows point to the separation between the old building and the new addition

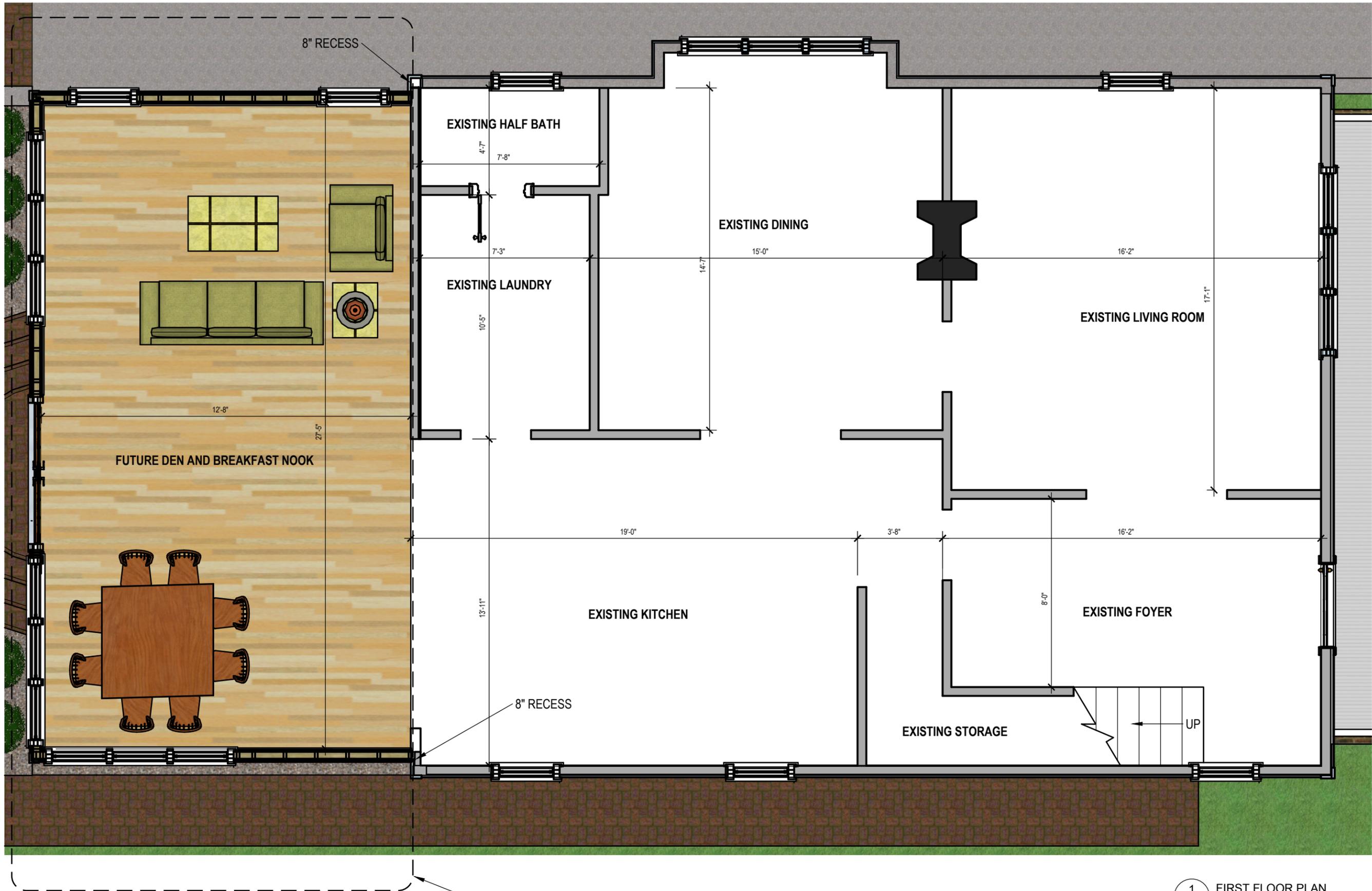


A 1.1

FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

Notes:
- Field Verify All Measurements.



1 FIRST FLOOR PLAN
A1.1 Scale: 1/4" = 1'-0"

ISSUED FOR DDRC REVIEW
Drawings Provided By: Marcus Munse, LEED AP

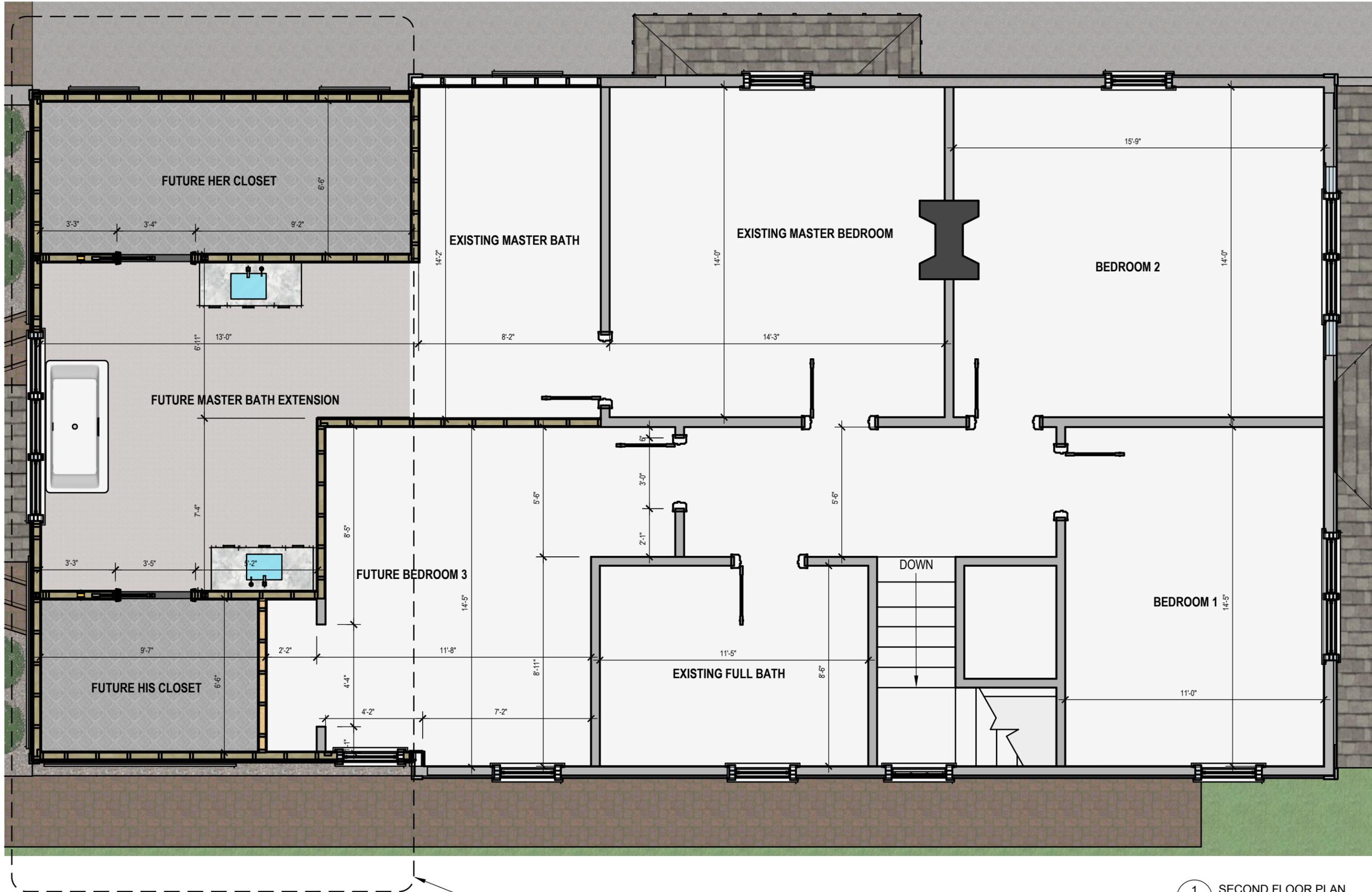
NICKEL FAMILY ADDITION
1311 SUMMERVILLE AVENUE
COLUMBIA, SC 29201

A 1.2

SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

Notes:
- Field Verify All Measurements.



ADDITION TO BUILDING FOOTPRINT

1 SECOND FLOOR PLAN
A1.2 Scale: 1/4" = 1'-0"

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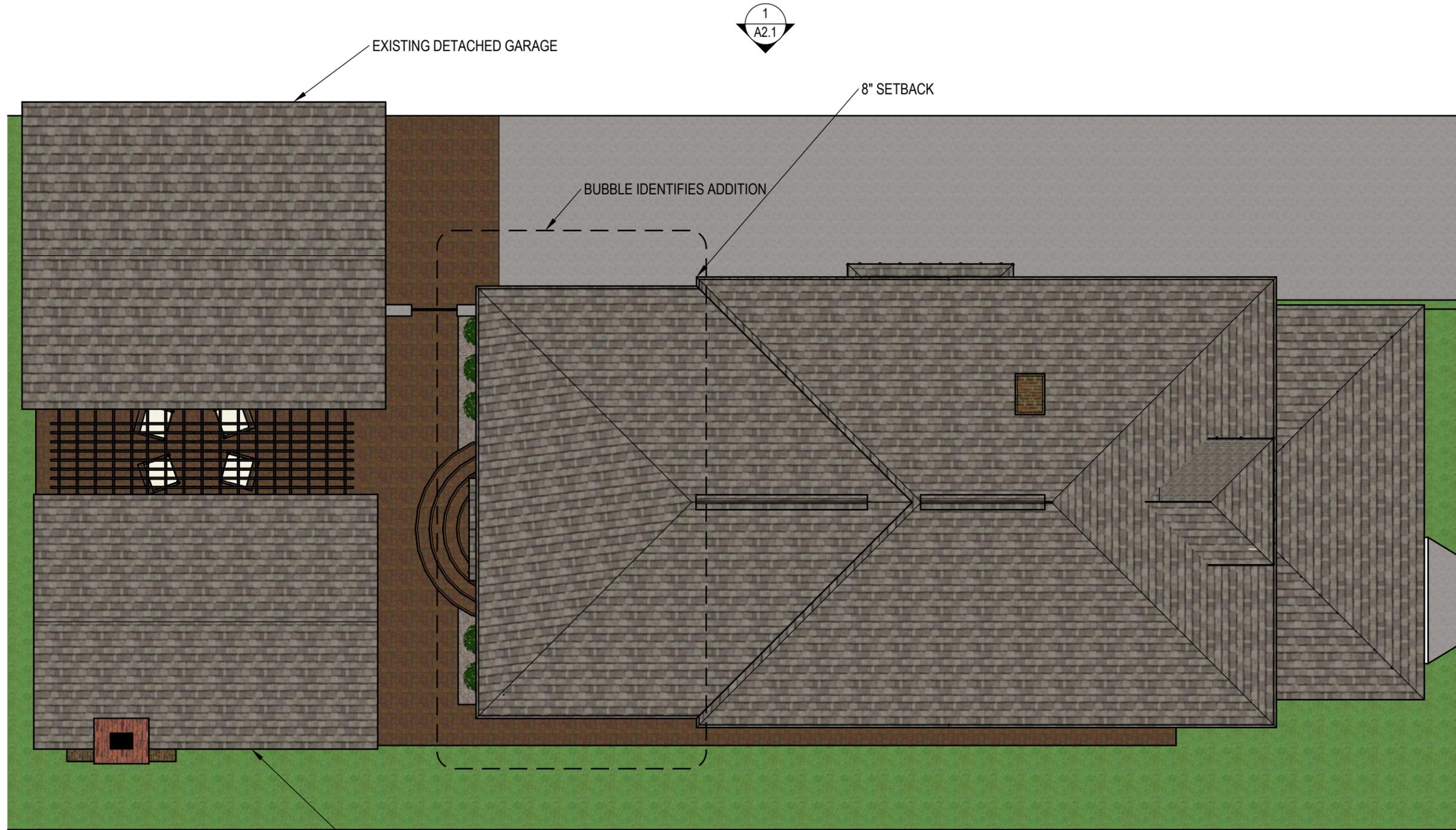
A 1.3
ROOF/SITE
PLAN

Scale: 1/8" = 1'-0"

Notes:
- Field Verify All
Measurements.

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**NICKEL FAMILY
ADDITION**
1311 SUMMERVILLE AVENUE
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1 SECOND FLOOR PLAN
A1.3 Scale: 1/8" = 1'-0"

A 1.4

SITE PLANS

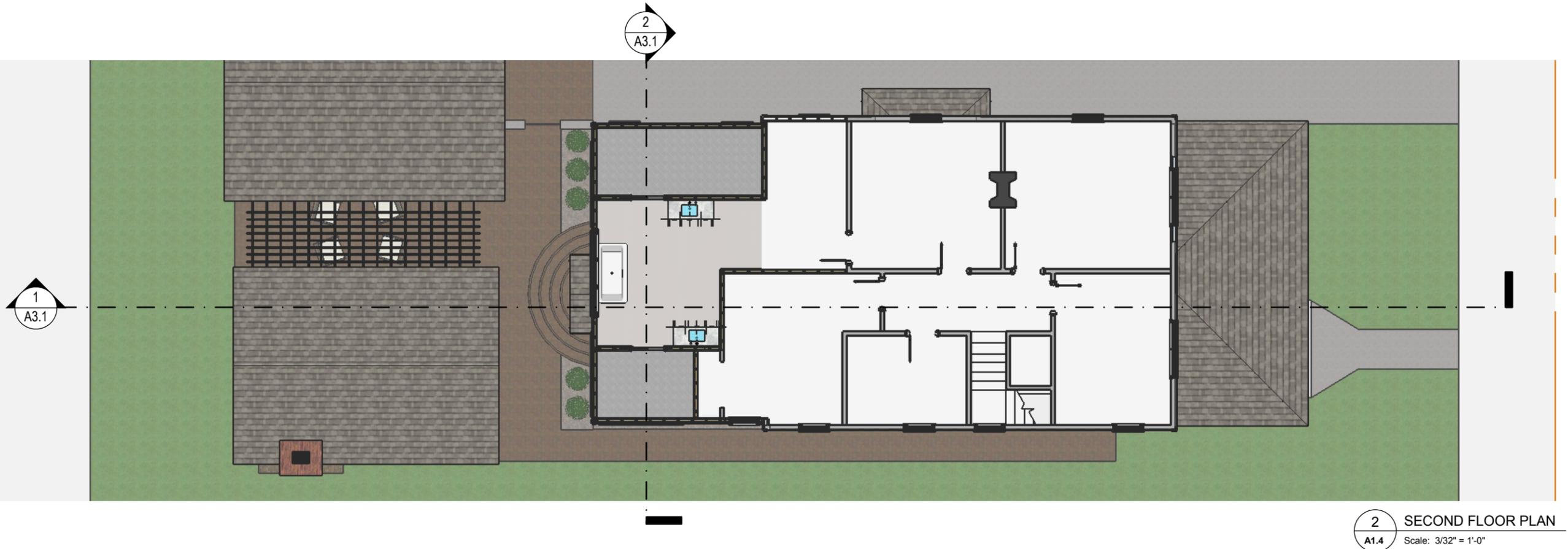
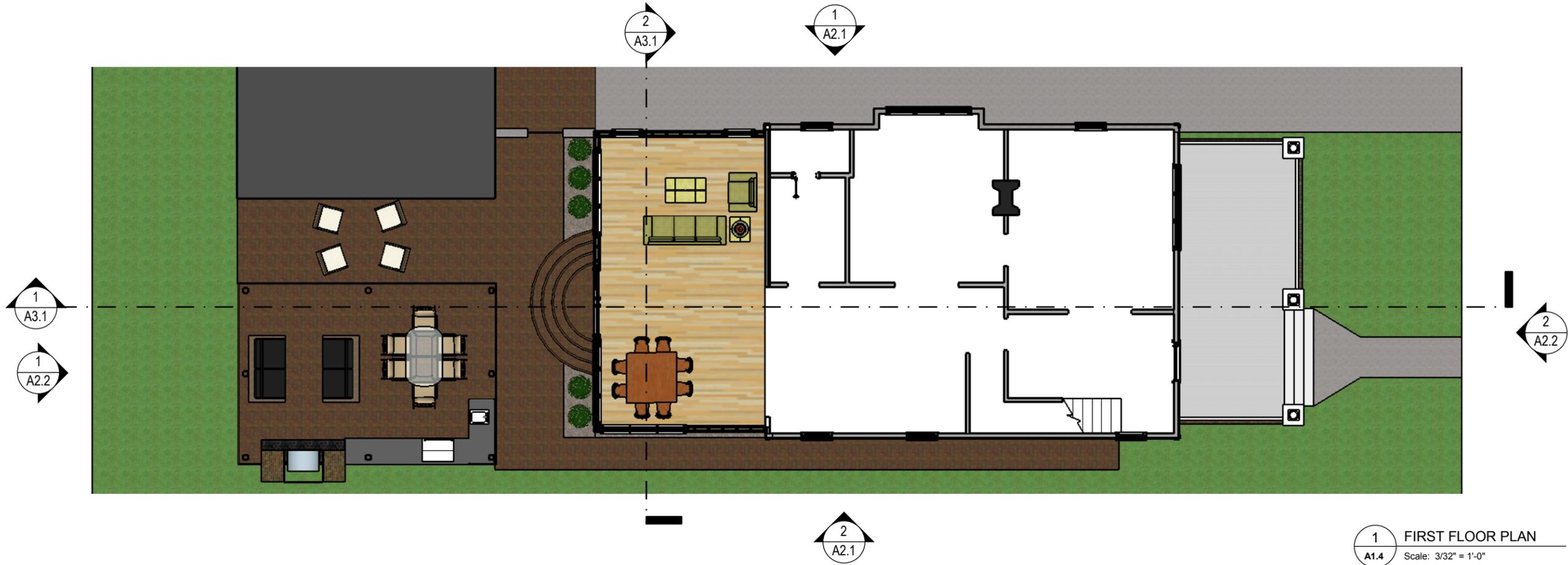
Scale: 3/32" = 1'-0"

Notes:
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**NICKEL FAMILY
ADDITION**

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A 2.1

BUILDING ELEVATIONS

Scale: 1/8" = 1'-0"

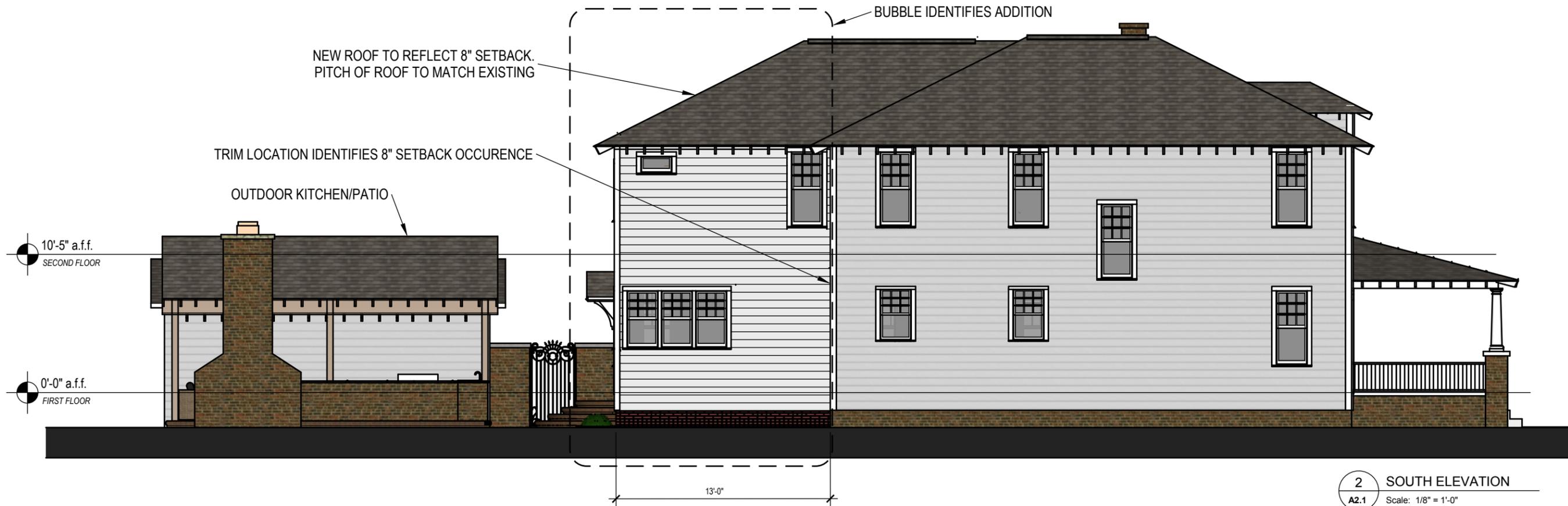
Notes:
- Field Verify All Measurements.

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1 NORTH ELEVATION
A2.1 Scale: 1/8" = 1'-0"



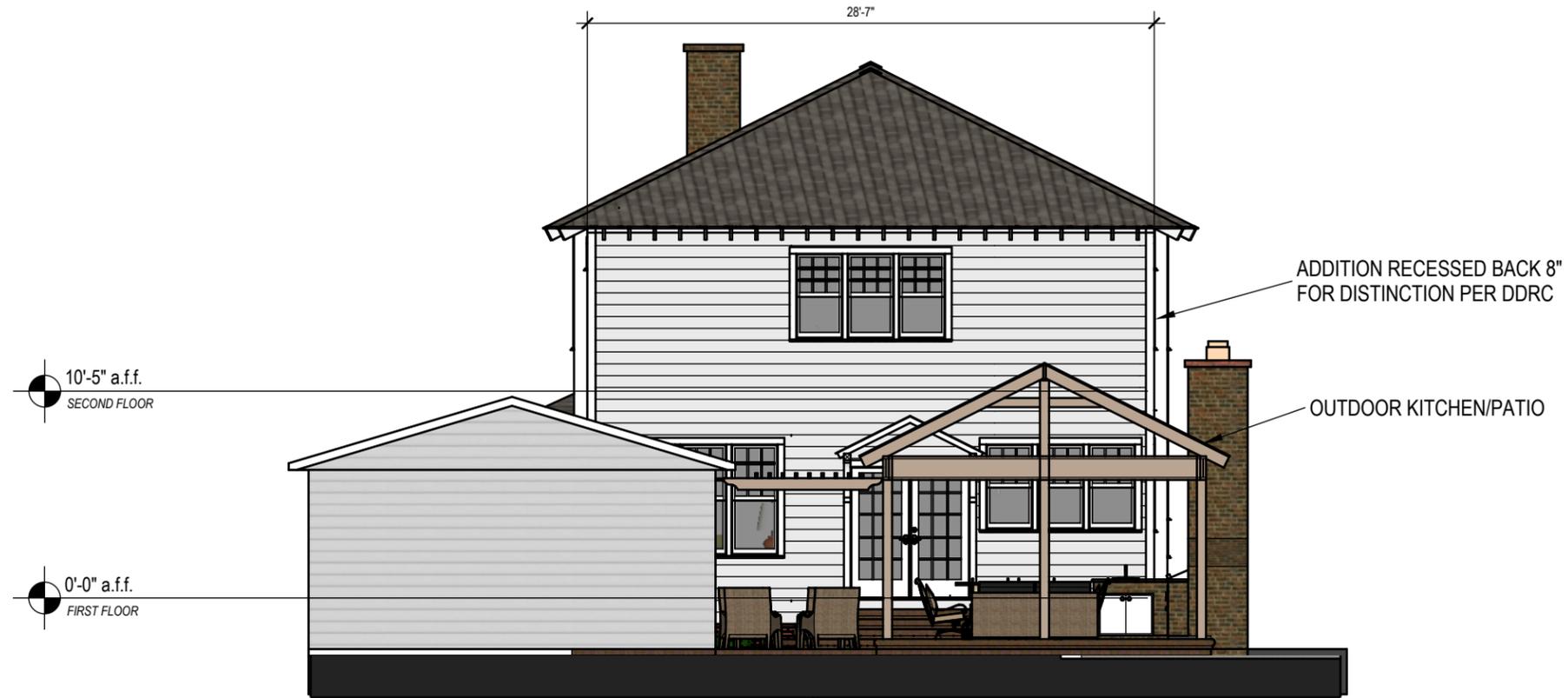
2 SOUTH ELEVATION
A2.1 Scale: 1/8" = 1'-0"

A 2.2

BUILDING ELEVATIONS

Scale: 1/8" = 1'-0"

Notes:
- Field Verify All Measurements.



1 EAST ELEVATION
A2.2 Scale: 1/8" = 1'-0"



2 WEST ELEVATION
A2.2 Scale: 1/8" = 1'-0"

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**NICKEL FAMILY
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A 3.1

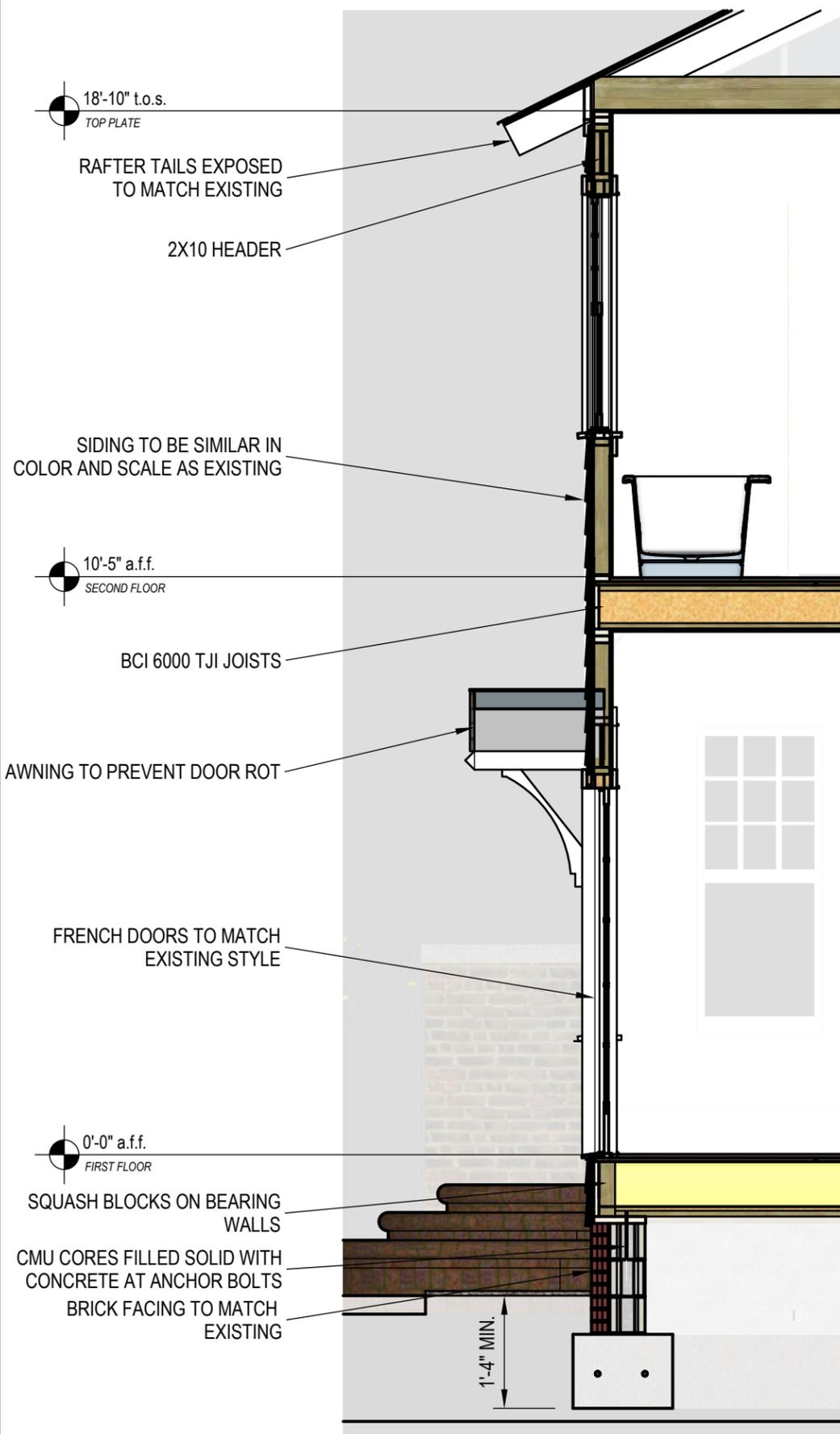
WALL SECTIONS

Scale: 3/8" = 1'-0"

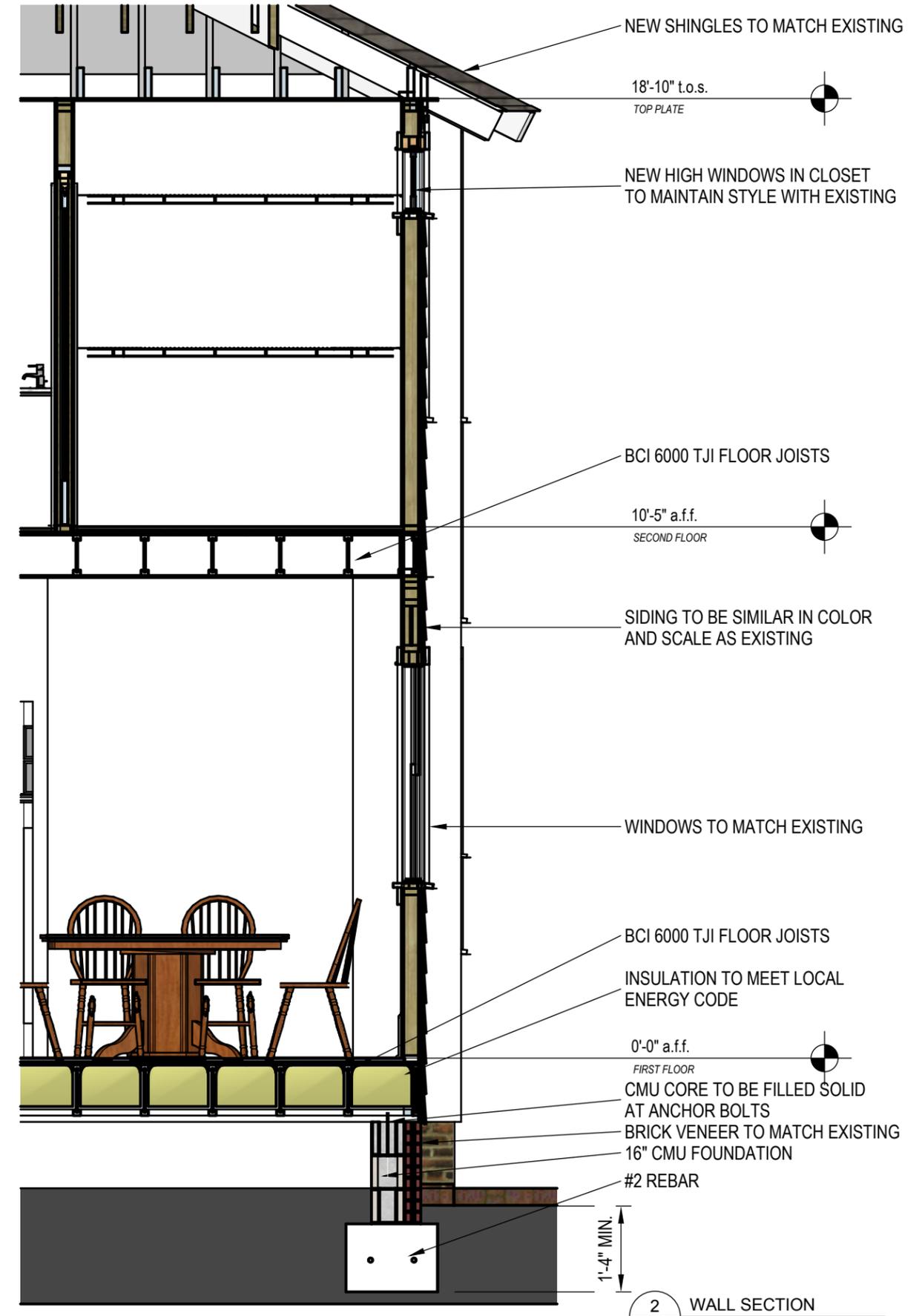
Notes:
- Field Verify All Measurements.

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1 WALL SECTION
A3.1 Scale: 3/8" = 1'-0"



2 WALL SECTION
A3.1 Scale: 3/8" = 1'-0"

A 4.1

ARCHITECT.
RENDERING

Scale: NTS

Notes:
- Field Verify All
Measurements.



1 RENDERING
A4.1 Scale: NTS

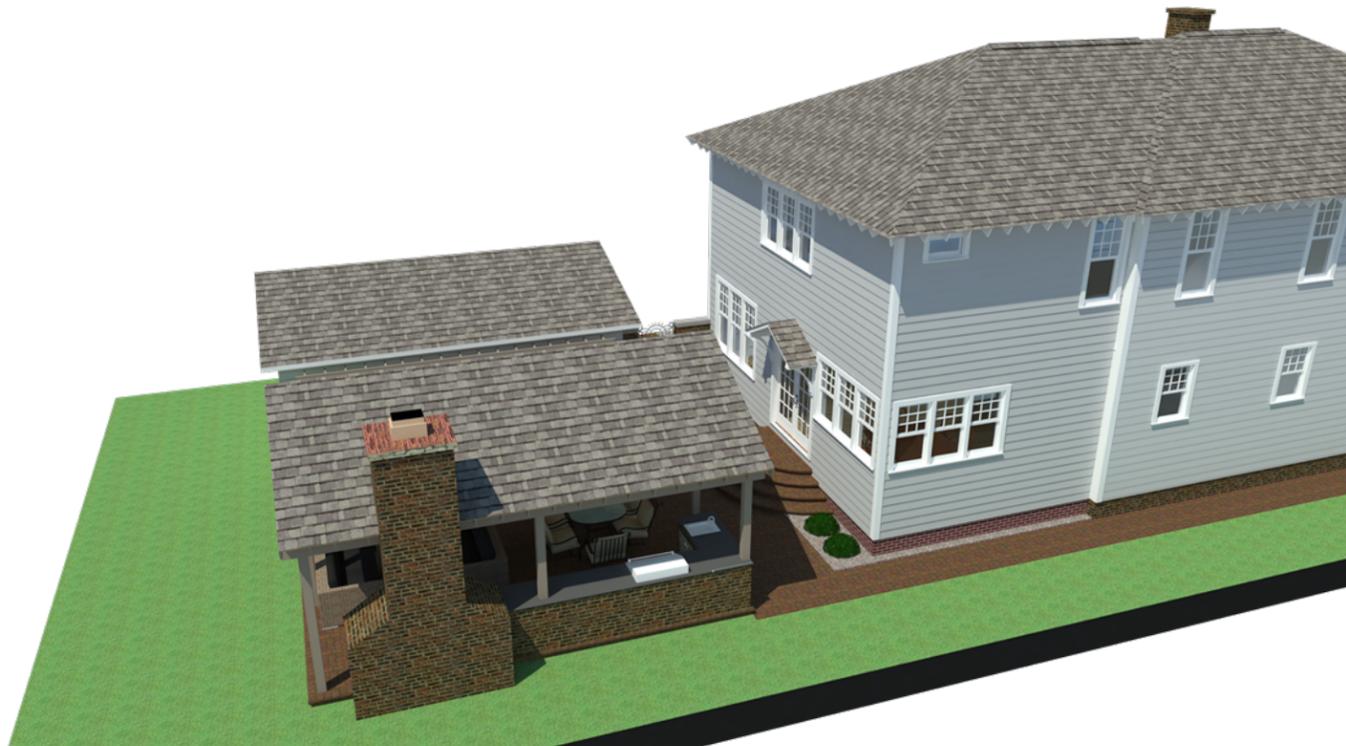


2 RENDERING
A4.1 Scale: NTS

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1 RENDERING
A4.2 Scale: NTS



2 RENDERING
A4.2 Scale: NTS



3 RENDERING
A4.2 Scale: NTS



4 RENDERING
A4.2 Scale: NTS

A 4.2

ARCHITECT.
RENDERING

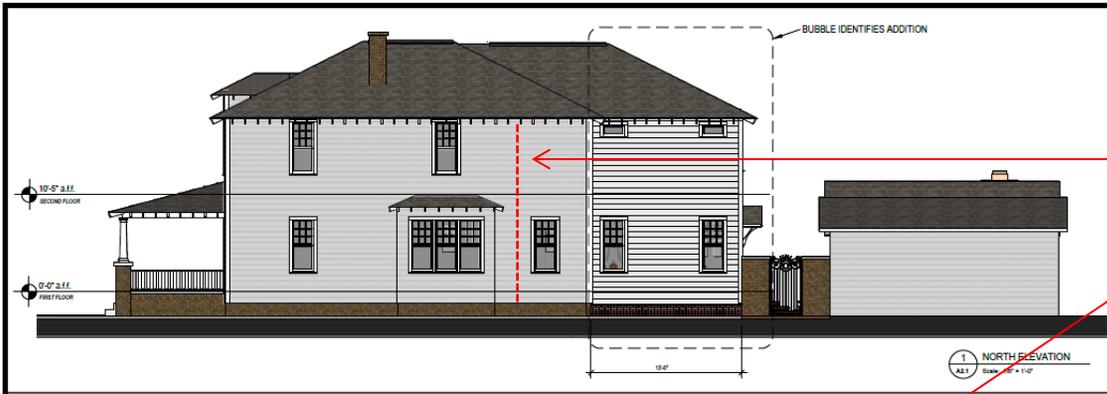
Scale: NTS

Notes:
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Measurements.

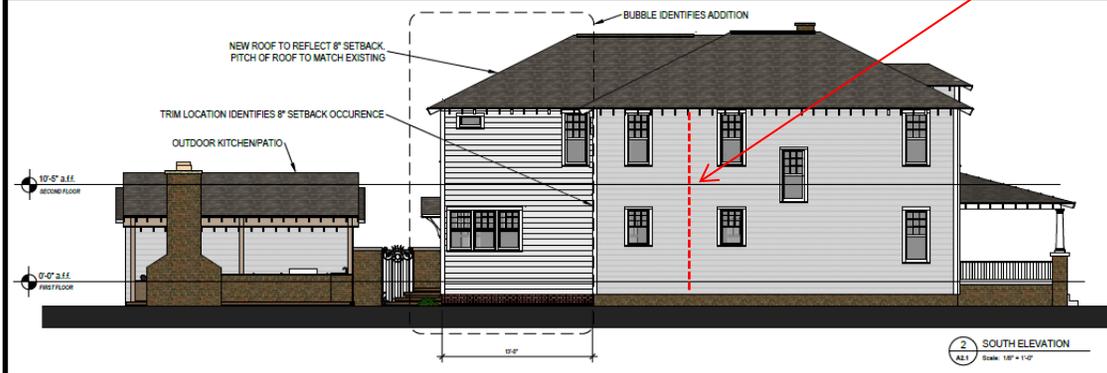
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1 NORTH ELEVATION
Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

A 2.1
BUILDING
ELEVATIONS

Scale: 1/8" = 1'-0"
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Approximate locations of
cornerboards currently