



**DESIGN/DEVELOPMENT REVIEW COMMISSION
SITE PLAN REVIEW
CASE SUMMARY**

933 MAIN STREET

**933 MAIN STREET PARTNERS, LLC
APARTMENTS**

September 8, 2016 at 4:00pm

City Council Chambers, 3rd Floor, City Hall, 1737 Main Street
Columbia, South Carolina 29201

Subject Property:	933 Main Street
TMS#:	TMS#08916-06-03
Zoning District:	C-4, DD (Central Area Commercial District within the Design Development Review District)
Council District:	2
Proposal:	Request site plan approval to construct an apartment building on a lot that contains a commercial building
Applicant:	933 Main Street Partners, LLC
Proposed Use:	12 Apartments
Staff Recommendation:	Approval with conditions as listed below.

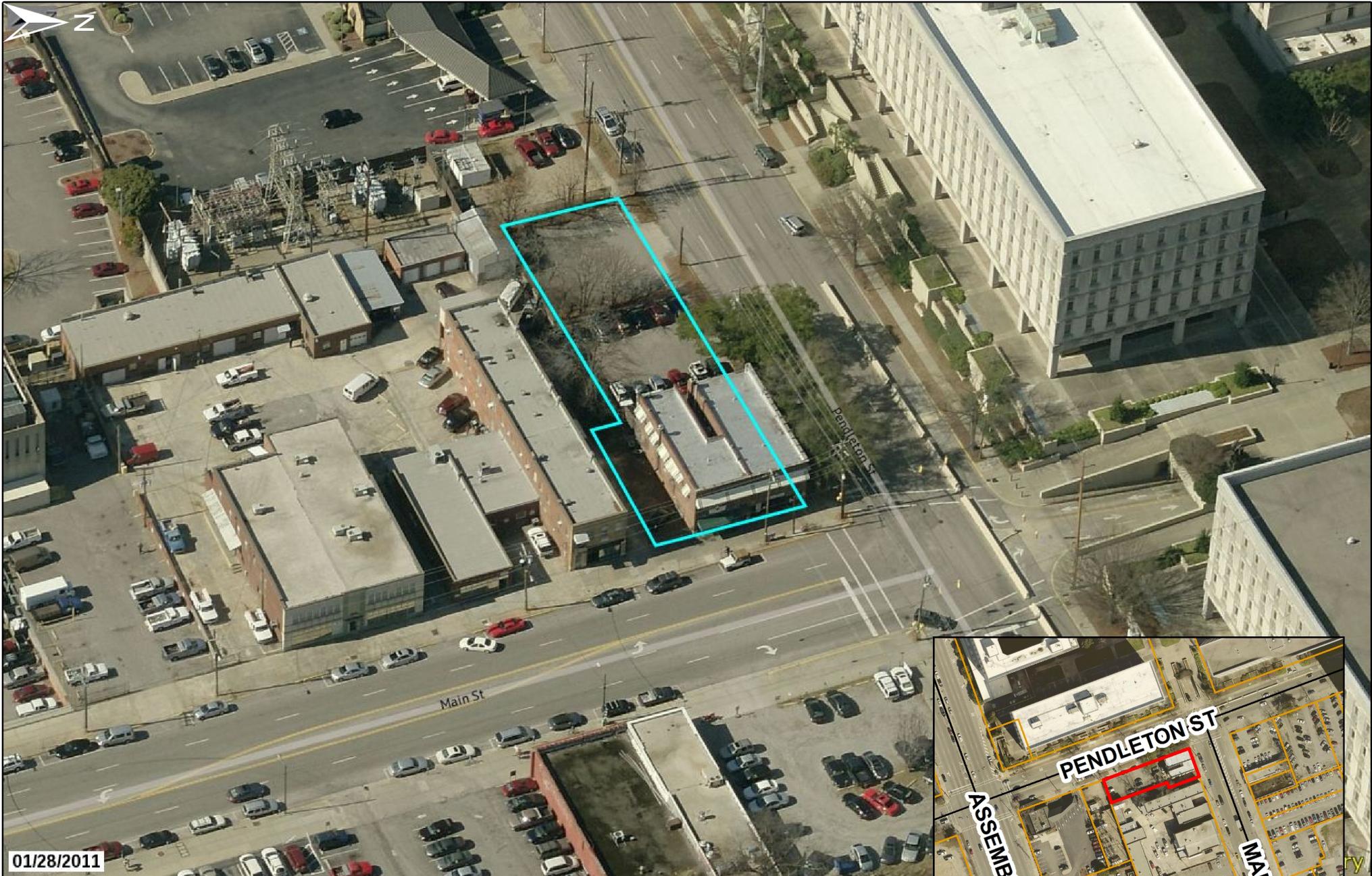
Detail:	<p>This property is ±13,000 sq. ft. and contains a 6,000 sq. ft. mixed-use building. This project entails the construction of an additional ± 14,000 sq. ft. building over an existing parking lot and will contain 12 apartments. The project requires 26 off-street parking spaces whereas the applicant is proposing to provide 21 whereas the applicant has applied for a variance by the Board of Zoning Appeals for the remaining 6 parking spaces.</p> <p>Though there are many staff comments within this case summary, the proposed site plan largely meets requirements.</p> <p>Should the Commission be inclined to grant approval of the site plan, staff would request that the Commission grant approval subject staff comments.</p>
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CITY AGENCY COMMENTS FOR CONCEPTUAL PLAN REVIEW

John Fellows, Planning	<p>Recommend approval with conditions:</p> <ol style="list-style-type: none"> Four parking spaces on south side of existing building are not accessible from the property or the public right of way and a dedicated easement has not been provided. Thus the parking spaces cannot be approved to meet code requirements. Detailed plans for the screening of the parking spaces
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	<p>shall be provided including wall and plant specifications. Details shall be approved by DDRC/DDRC Staff.</p> <ol style="list-style-type: none"> 3. An encroachment permit shall be required for new driveway curb cuts and any modifications within the public right of way. 4. Any improvements within the public right of way shall meet City Center Design Standards for sidewalks, lighting, trees, brick paver accents and other elements. 5. A plan showing how each parking space will be able to be accessed shall be provided as some space may not be accessible. 6. One or two tree shall be provided between the driveways within the planting area, such tree shall be an understory tree with a mature height that will not interfere with the overhead utility lines.
K. Brian Cook, Zoning Administrator	<p>Recommend approval with condition:</p> <ol style="list-style-type: none"> 1. Board of Zoning Appeals granting of a variance to the off-street parking requirements.
Johnathan Chambers, Land Development Administrator	<p>Recommend approval with condition:</p> <ol style="list-style-type: none"> 1. The site plan includes a property that may be SCDOT or City ROW.
Jerry Thompson, Plans Examiner	<p>Recommend approval with condition:</p> <ol style="list-style-type: none"> 1. Must comply with all applicable building codes.
Scott Rogers, Utilities	<p>Recommend approval with conditions:</p> <ol style="list-style-type: none"> 1. Any needed upgrade, extension or relocation of City utilities must be provided by the developer. 2. Any privately owned/maintained utilities or permanent structures cannot be located inside exclusive City of Columbia utility easements. 3. Proposed sewer flow calculations are needed to determine how the proposed project will affect the City's sewer system. Depending upon the effects of the projected flows on the City's system this project may or may not be approved. These calculations should be submitted to the Engineering department as soon as possible. 4. Water and/or Sewer mains and 4" and above water meters will not be allowed inside public right-of-ways without an approved encroachment permit and written approval from the City Engineer.
David Brewer, Traffic Engineering	Recommend approval.
Kris Scott, Fire Department	Recommend approval.
Sara Hollar, Forestry	<p>Recommend approval with conditions:</p> <ol style="list-style-type: none"> 1. Existing trees in right of way must be protected with fencing to keep all people, equipment and vehicles out of the tree area during construction. 2. If any new landscaping or irrigation is installed in the right of way, it must be approved by Forestry and Beautification and maintained by the adjacent

	<p>property owner in a manner to not interfere with vehicular and pedestrian traffic.</p> <p>3. SCDOT must approve any new landscaping installed along SCDOT roadways.</p>
Michael Jaspers, Stormwater	<p>Recommend approval with conditions:</p> <ol style="list-style-type: none"> 1. Will need to provide pre and post-development hydrology calculations showing no new discharge points and no adverse impacts to downstream/adjacent properties. 2. Post-development should be equal to or less than pre-development rates. 3. Any new control or system should be accompanied by a maintenance plan and agreement.
David Knoche, Parking	Recommend approval.
Robert Sweatt, Street Division	Recommend approval.
John Hooks, Solid Waste	Recommend approval.



01/28/2011

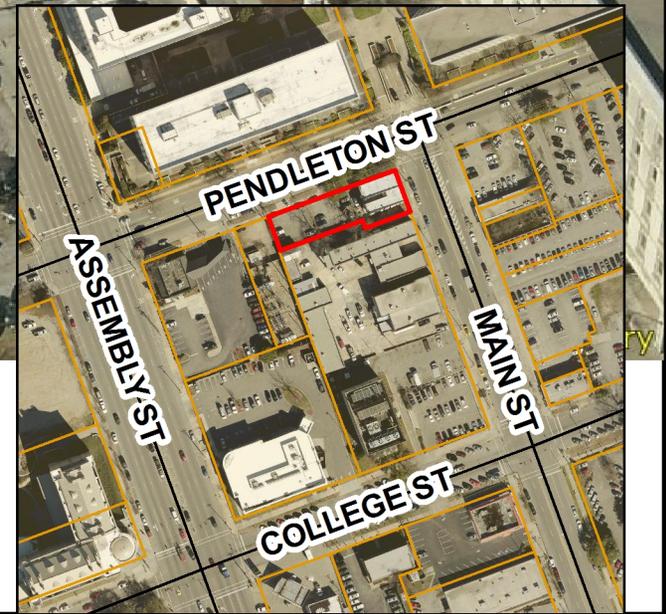


D/DRC Case

933 Main Street

City Center/Design Development District

TMS: 08916-06-03





City of Columbia APPLICATION for SITE PLAN/SUBDIVISION PLAT REVIEW

OFFICE USE ONLY: Date Received _____ By _____

1) APPLICANT (Please Print)

Name:	Ford Elliott	Company:	933 Main Street Partners LLC
Tel. #:	864-637-9302	Fax#:	
Mobile #:	864-901-4078	E-mail:	ford.elliott@svn.com

Do you own any of the property affected by this application? YES NO; If NO, provide Letter of Agency

2) THIS APPLICATION IS FOR (Check all that apply)

Group/Individual Commercial Development

Group Residential Development

Residential Subdivision

Planned Unit Development Site Review

3) PROPERTY

Address:	933 Main Street, Columbia SC 29201		
TMS#:	R08916-08-03	Total Acreage:	0.29
Current Use:	Mixed Use	Proposed Use:	Mixed Use
Current Zoning:	DD		
Number of Lots and/or Units:	12	Total Sq. Ft.	13,987

3) DETAILED PROJECT DESCRIPTION: (Attach additional paper if you need more space)

New construction of 12 unit multifamily building with parking below.

4) NEIGHBORHOOD CONSULTATION

Prior to the Planning Commission meeting, meet with the adjacent neighbors or neighborhood association to communicate details of the proposed project. Please note that this informational meeting is not required by ordinance, but is *strongly* encouraged. Contact information may be obtained from Zoning staff.

5) PLAN SUBMITTAL

Please refer to the Checklist for Site Plan Review for materials required for submittal with this application

6) SIGNATURE

Applicant Signature:	
Print Name:	Ford Elliott
Date:	8/4/2016

PC Date: _____ Action: _____

PHOTO 1

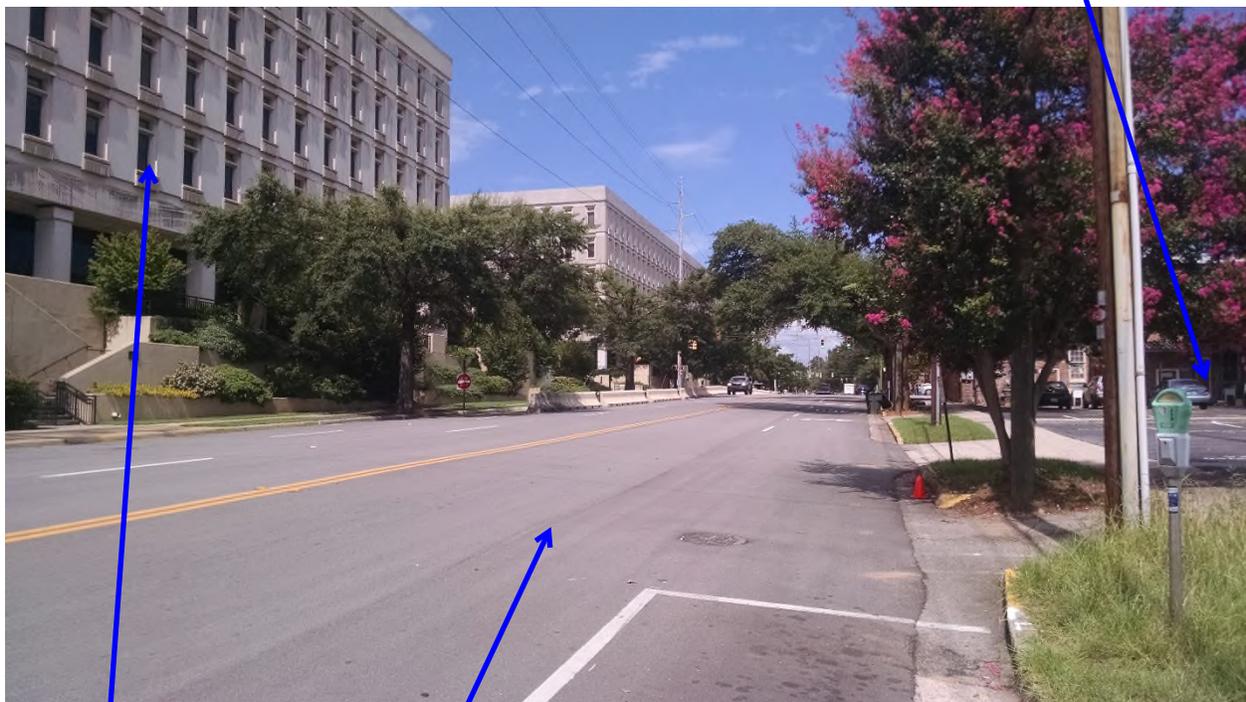


Site

Adjacent SCE&G Property

Pendleton St.

PHOTO 2



Site

State House Property

Pendleton St.

PHOTO 3

Existing
Mixed
Use Bldg



Site

PHOTO 4



Main St.

Existing
Mixed
Use Bldg

PHOTO 5



Existing
Mixed
Use Bldg

Main St.

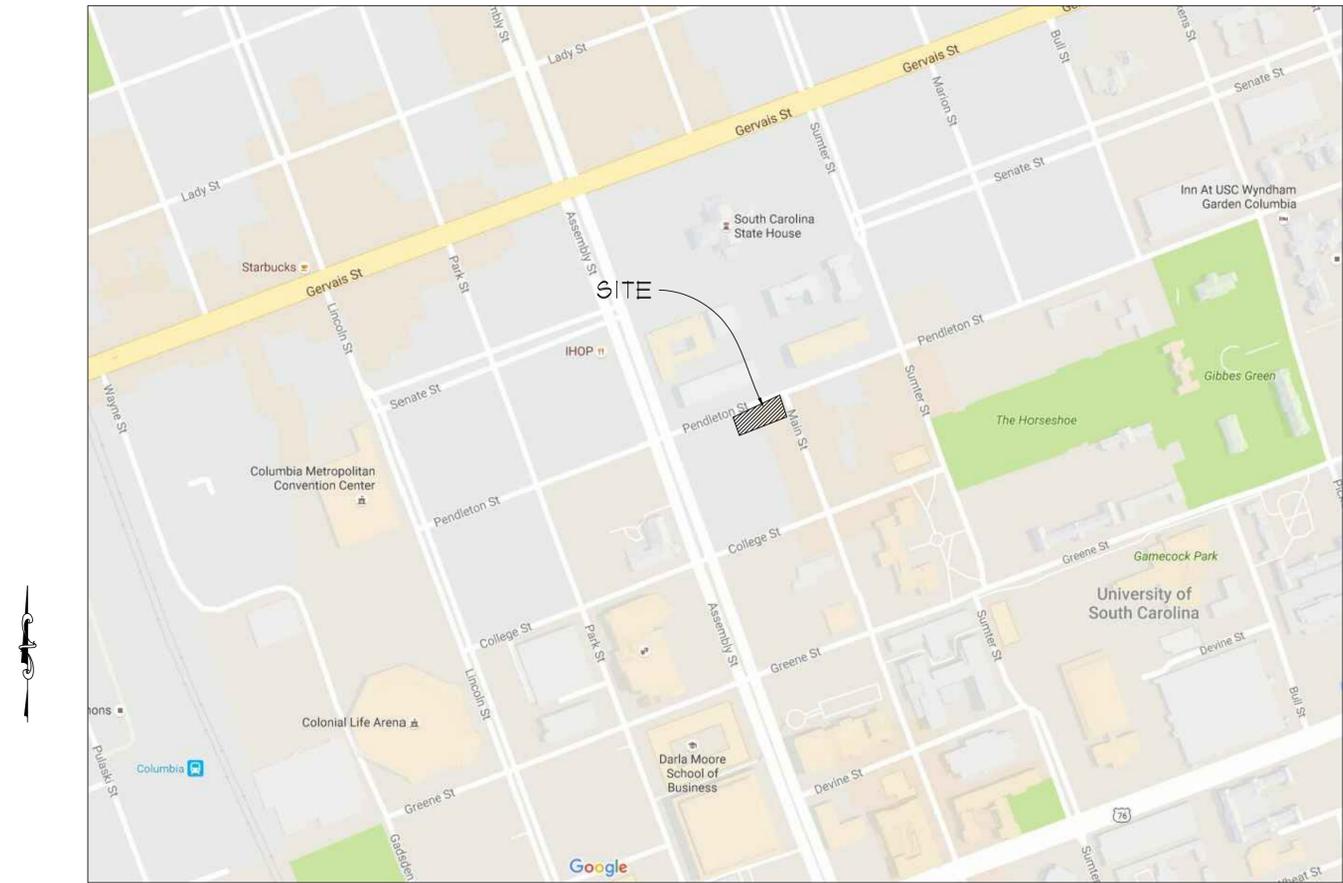
EROSION CONTROL NOTES

- SUBJECT PROPERTY:
 - TAX MAP NO. R0896-06-03
 - COLUMBIA, SC (RICHLAND COUNTY)
 - SOIL TYPE: U (URBAN LAND)
- SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSTALLED AND FUNCTIONING PRIOR TO BEGINNING ANY PROJECT EARTH DISTURBING ACTIVITIES.
- TO SECURE THE PROJECT SITE, LOCATE LIMITS OF CONSTRUCTION, PROTECT AREAS THAT ARE TO REMAIN UNDISTURBED, AND PREVENT MIGRATION OF CONSTRUCTION DEBRIS, ORANGE CONSTRUCTION FENCING SHALL BE INSTALLED AROUND AREAS NOT REQUIRING SILT FENCING. ANY ACCUMULATION OF CONSTRUCTION DEBRIS ON PUBLIC ROADWAYS OR ADJACENT PROPERTIES SHALL BE REMOVED WITHIN 24 HOURS. CARE SHALL BE TAKEN WHEN INSTALLING CONSTRUCTION FENCING TO NOT OBSCURE ONCOMING TRAFFIC AT INTERSECTIONS, ADJACENT DRIVEWAYS AND THE PROJECT CONSTRUCTION ENTRANCE.
- CONTRACTOR(S) TO MAINTAIN EROSION CONTROL MEASURES UNTIL GRASSING IS ESTABLISHED. OWNER WILL BE RESPONSIBLE FOR EROSION CONTROL MAINTENANCE THEREAFTER.
- A CERTIFIED EROSION PREVENTION AND SEDIMENT CONTROL (CEP/SC) INSPECTOR SHALL BE MAINTAINED TO PROVIDE INSPECTION AND DOCUMENTATION OF EPA/SC PRACTICES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH SCDHEC REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE A SUITABLE RAIN GAUGE ON SITE AND RECORD DAILY RAINFALL AMOUNTS. THE CONTRACTOR SHALL NOTIFY THE INSPECTOR WITHIN 1 BUSINESS DAY IF A RAINFALL EVENT EQUAL TO OR GREATER THAN 0.5" HAS OCCURRED AT THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2 INCH OR MORE OF PRECIPITATION. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED AS NECESSARY. WRITTEN INSPECTION REPORTS SHALL BE KEPT ON SITE. IF POSSIBLE, SUPPORTING PHOTOGRAPHS SHALL ALSO BE RECORDED ALONG WITH THE INSPECTION REPORT. A WRITTEN MAINTENANCE RECORD OF ALL REPAIRS TO SEDIMENT/EROSION CONTROL DEVICES SHALL ALSO BE MAINTAINED AND KEPT ON SITE. REGULAR MAINTENANCE SHALL ALSO BE PERFORMED INCLUDING REMOVAL OF SILT FROM AROUND CATCH BASINS AND REPAIR CONSTRUCTION ENTRANCE AS NEEDED TO PREVENT OFFSITE SEDIMENTATION.
- ANY MODIFICATIONS FROM THE APPROVED PLANS TO THE SEDIMENT/EROSION CONTROL FEATURES INSTALLED ON SITE SHALL BE RECORDED WITH INITIALS AND DATE ON THE STORMWATER POLLUTION PREVENTION PLAN (SPP/PPP) AND THE DESIGN ENGINEER SHALL BE NOTIFIED. THE DESIGN ENGINEER SHALL BE NOTIFIED IF ANY MAJOR CHANGES IN THE SPP/PPP ARE REQUIRED.
- ALL DISTURBED AREAS SHALL RECEIVE TOPSOIL & BE GRASSSED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - A. LIME: 2 TONS PER ACRE
 - B. FERTILIZER: 1000 LBS PER ACRE OF 10-10-10
 - C. SEED: PER GRASSING SCHEDULE DETAIL
 - D. MULCH: 15 TONS PER ACRE - WHEAT STRAW
 IF TEMPORARY VEGETATION IS REQUIRED TO ASSIST IN SILTATION CONTROL, FOLLOW THE GRASSING SCHEDULE DETAIL.
- SOIL DISTURBANCE SHOULD BE LIMITED TO AREAS BEING ACTIVELY WORKED. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED.
- SLOPES STEEPER THAN 3:1 AND/OR EXCEEDING EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH FLEX TERRA OR SYNTHETIC/VEGETATIVE MATS IN ADDITION TO HYDRO SEEDING. TEMPORARY SLOPE DRAINS SHALL BE INSTALLED AS NECESSARY DURING CONSTRUCTION WHERE SAID SLOPES EXCEED EIGHT (8) VERTICAL FEET.
- CAT TRACK OR SURFACE ROUGHENING IS REQUIRED FOR ALL SLOPES GREATER THAN 4:1 PRIOR TO SEEDING AND LAYING OF SYNTHETIC OR VEGETATIVE MATS. CAT TRACKING OR SURFACE ROUGHENING SHALL PRODUCE A SURFACE WITH FURROWS RUNNING ACROSS THE SLOPE, PARALLEL WITH SLOPE CONTOURS, AND PERPENDICULAR TO SURFACE RUNOFF.
- SILT FENCES SHALL BE CLEANED OR REPLACED WHEN SEDIMENT REACHES 1/3 HEIGHT OF THE FENCE OR WHEN THE SILT FENCE BECOMES INEFFECTIVE, WHICHEVER COMES FIRST.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO WATERS OF THE STATE.
- SILT FENCE SHALL BE INSTALLED ALONG LINES OF EQUAL ELEVATION. TIE BACKS SHALL BE INSTALLED EVERY 100 LINEAR FEET ALONG THE FENCE LINE.
- SILT FENCING SHALL BE PLACED NO CLOSER THAN 5 FT. DOWNHILL FROM THE TOE OF ANY FILL AREA.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- DURING THE COURSE OF CONSTRUCTION ACTIVITIES EROSION AND SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT ACCUMULATION ON PUBLIC ROADWAYS (INCLUDING STREET GUTTERS), SEDIMENT LADEN RUNOFF FROM ENTERING INTO EXISTING STORM WATER SYSTEM INLETS OR DEPOSITING ON ADJACENT PROPERTIES, AND AIRBORNE DUST MIGRATION OFF-SITE. ANY ACCUMULATION OF SEDIMENT FROM THE PROJECT SITE ON PUBLIC ROADWAYS OR ADJACENT PROPERTIES SHALL BE REMOVED WITHIN 24 HOURS.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- THE CONTRACTOR SHALL CONTROL DUST AS NECESSARY USING DUST CONTROL BMPs INCLUDING PROJECT PHASING, VEGETATIVE COVER, MULCH, SPRINKLING WATER, BARRIERS AND/OR COVERS.
- TEMPORARY STOCKPILING OF USEABLE OR WASTE MATERIALS FOR MORE THAN SEVEN (7) DAYS SHALL HAVE APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES INSTALLED. THE CONTRACTOR SHALL PROVIDE STOCKPILE MANAGEMENT PER BMPs AS DESCRIBED IN THE SCDOT WATER QUALITY PROTECTION DURING CONSTRUCTION FIELD MANUAL (JANUARY 2004) SECTION 8.6. ACTIVE STOCKPILES SHALL BE COVERED, STABILIZED OR PROTECTED WITH TEMPORARY LINEAR SEDIMENT BARRIER PRIOR TO THE ONSET OF PRECIPITATION.
- TEMPORARY STOCKPILES SHALL BE PLACED A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED STORM WATER FLOWS, DRAINAGE COURSES, STORM WATER INLET STRUCTURES, ADJACENT PROPERTY, AND PUBLIC ROADWAYS. REPAIR AND/OR REPLACE PERIMETER CONTROLS AS NECESSARY. SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES 1/3 OF THE BARRIER HEIGHT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ANY SEDIMENT CONTROL DEVICES NEEDED OR REQUIRED AT BORROW OR HAUL AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GRADING AND/OR MINING PERMIT FOR OFFSITE BORROW PITS AND/OR STOCKPILE AREAS.
- SOLID WASTE DISPOSAL SHALL BE IN COMPLIANCE WITH SCDHEC SOLID WASTE REGULATIONS AND THE CITY OF COLUMBIA NUISANCE ORDINANCE.
- THE CONTRACTOR SHALL ESTABLISH AN APPROPRIATE AREA ON SITE FOR TOPSOIL STORAGE. STOCKPILE SHALL BE STABILIZED AND SILT FENCE SHALL BE INSTALLED TO PREVENT SEDIMENTATION. CONTRACTOR SHALL COORDINATE WITH LANDSCAPING CONTRACTOR AND OWNER FOR DISTRIBUTION OF TOPSOIL ON SITE.
- ALL EXISTING OR NEW STORM WATER STRUCTURES SHALL BE CLEANED OF ANY ACCUMULATED CONSTRUCTION DEBRIS OR SEDIMENTS FROM THIS PROJECT SITE. DISPOSAL OF ALL RECOVERED SEDIMENTS AND CONSTRUCTION DEBRIS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR AND OWNER SHALL ALLOW THE CITY OF COLUMBIA OR OTHER IMPLEMENTING AGENCY TO CONDUCT ONSITE INSPECTIONS.
- A MINIMUM 10' WIDE BUFFER SHALL BE MAINTAINED ALONG THE EDGES OF ALL WETLANDS DURING DEMOLITION AND CONSTRUCTION ACTIVITY.
- TEMPORARY TOILETS, IF USED DURING CONSTRUCTION, SHALL NOT BE PLACED WITHIN 50' OF AN EXISTING OR PROPOSED STORMDRAIN INLET OR OUTLET.
- TEMPORARY CONCRETE TRUCK WASH OUT AREAS SHALL NOT BE PLACED WITHIN 50' OF AN EXISTING OR PROPOSED STORMDRAIN INLET.
- ANY GROUNDWATER ENCOUNTERED WHILE TRENCHING MUST BE FILTERED PRIOR TO DISCHARGE.

THE LOFTS AT THE CAPITOL

CITY OF COLUMBIA

RICHLAND COUNTY, SOUTH CAROLINA



SHEET INDEX

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C100	EXISTING CONDITIONS AND DEMOLITION.....	2 OF 4
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24-HOUR CONTACT
 FORD ELLIOT
 (864) 301-4078



THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

STANDARD SCDHEC NOTES

- IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERM'S MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS, AS MAY BE REQUIRED. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOTS. CONSTRUCTION INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 12-300 ET SEQ. AND S.C.R.000000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPLOUSE RUNOFF AND/OR TO DIVERT SEEDING WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SPP/PPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT REQUIRE FOR A PERIOD OF 1 CALENDAR DAYS.
- MINIMIZE SOIL CONTRACTION AND UNLESS FEASIBLE PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.)
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS.
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE, AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SCS WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORY EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORY EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SPP/PPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SPP/PPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE. THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

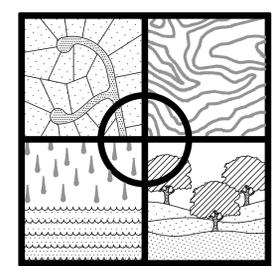
ENCROACHMENT NOTES

- PRIOR TO CONSTRUCTION ALL EROSION CONTROL FEATURES SHALL BE INSTALLED PER THE SPP/PPP.
- CONTRACTOR SHALL FOLLOW ALL SCDOT APPROVED TRAFFIC CONTROL STANDARDS DURING CONSTRUCTION.
- EMERGENCY SERVICES (E911) SHALL BE NOTIFIED PRIOR TO ROAD CLOSURES AND/OR REROUTING.
- WHERE SIDEWALKS INTERSECT ROADS, HANDICAPPED RAMPS SHALL BE INSTALLED PER SCDOT SPECIFICATIONS.
- NEW SIDEWALK TO BE INSTALLED IN ACCORDANCE WITH SCDOT STD. DRAWINGS.

SITE DATA	
SITE ADDRESS	933 MAIN STREET COLUMBIA, SC
OWNER/DEVELOPER	933 MAIN STREET PARTNERS 7C BRENDAN WAY #1 GREENVILLE, SC 29615
CIVIL ENGINEER	SITE DESIGN, INC. 800 E. WASHINGTON ST. SUITE B GREENVILLE, SC 29601
ARCHITECT	BRADLEY VAN NAME, ARCHITECT, PA 10 ARMSDALE DRIVE TAYLORS, SC 29687
ZONING	DD
PROPOSED USE	MULTI-FAMILY APARTMENTS
TAX MAP #	R0896-06-03

SITE DESIGN, INC.

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS



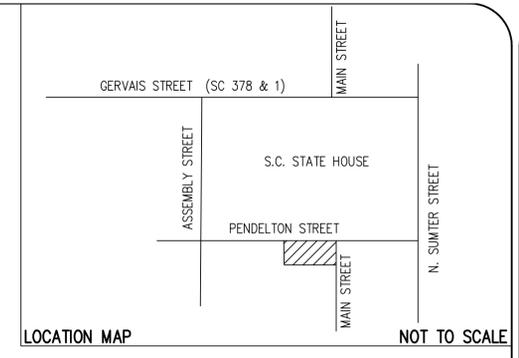
www.sitedesign-inc.com
 800 E. WASHINGTON ST, STE B
 GREENVILLE, SC 29601
 PH: (864)271-0496
 FAX: (864)271-0402

THE LOFTS AT THE CAPITOL

SEAL	C.O.A.	REVISIONS	
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SHEET NUMBER 1 OF 4

12,604 SQ.FT.
0.289 ACRES

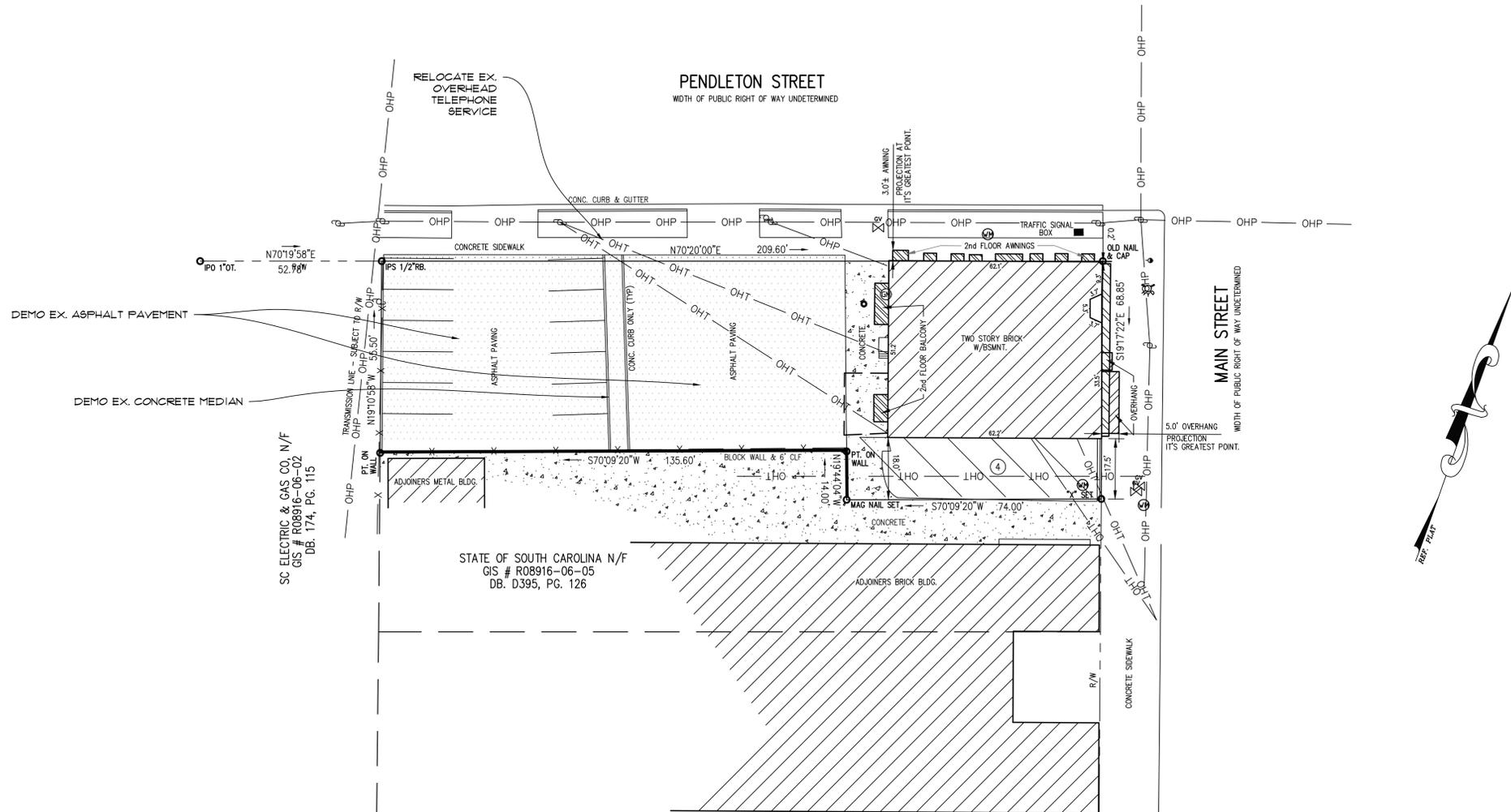


SITE DESIGN, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

www.sitedesign-inc.com
100 E. WASHINGTON ST. STE B
GREENVILLE, SC 29601
TEL: (864) 271-0400
FAX: (864) 271-0402

DEMOLITION NOTES

- DEMOLITION AND REMOVAL IS NOT NECESSARILY LIMITED TO THE ITEMS SHOWN ON THIS PLAN. CONTRACTOR SHALL REMOVE ADDITIONAL EXISTING UNSUITABLE MATERIAL OR STRUCTURES WITHIN THE CONSTRUCTION AREA AS NECESSARY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF UNDERGROUND STORAGE TANKS OR OTHER EQUIPMENT IS UNEARTHED OR OTHERWISE DISCOVERED.
- ALL EXISTING UTILITY DEMOLITION, REMOVAL, OR ABANDONMENT (WATER, SEWER, STORM DRAINAGE, ELECTRIC, GAS, TELEPHONE, CABLE, ETC.) SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS, RULES, REGULATIONS, AND REQUIREMENTS OF THE APPLICABLE GOVERNING UTILITY ENTITY. CONTRACTOR SHALL COORDINATE UTILITY WORK WITH THE APPROPRIATE UTILITY ENTITY. CONTRACTOR TO VERIFY USEFULNESS OF EXISTING SITE UTILITIES WITH THE APPROPRIATE UTILITY ENTITY.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FROM CITY OF COLUMBIA NECESSARY OR REQUIRED TO PERFORM DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF DEMOLITION DEBRIS.
- THE CONTRACTOR SHALL CONDUCT ALL DEMOLITION, REMOVAL, STORAGE, CLEANUP, ETC. IN ACCORDANCE WITH ALL REGULATING AUTHORITIES INCLUDING BUT NOT LIMITED TO CITY OF COLUMBIA, SCDHEC, AND THE U.S. ENVIRONMENTAL PROTECTION AGENCY.
- NO WORK MAY BE PERFORMED WITHIN THE STATE RIGHT-OF-WAY WITHOUT AN APPROVED SCDOT ENCROACHMENT PERMIT.
- EVERY ATTEMPT TO RECYCLE DEMOLISHED MATERIALS SHOULD BE MADE. COORDINATE WITH ON-SITE CONSTRUCTION MATERIALS TESTING FIRM TO IDENTIFY ANY MATERIAL TO BE RECYCLED.



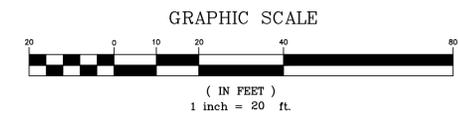
811 Know what's below. Call before you dig.

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LEGEND

SYMBOLS	ABBREVIATIONS
CB □ CATCH BASIN	BL BUILDING LINE
DI □ DROP INLET	CL CENTERLINE
ETC ELEC TRANSFORMER	CT CRIMP TOP
+ 90.0 ELEVATION (EXIST. GRADE)	DE DRAINAGE EASEMENT
+ 80.00 ELEVATION (FINISH GRADE)	EP EDGE OF PAVEMENT
⊗ FIRE HYDRANT	FFE FINISHED FLOOR ELEVATION
⊗ GAS METER	FG FINISHED GRADE
⊗ GAS VALVE	IE INVERT ELEVATION
IP ○ IRON PIN	IPS IRON PIN SET
LP ○ LIGHT POLE	IPO IRON PIN OLD
MHSB ⊗ MANHOLE (BELLSOUTH)	M&C NAIL & CAP
MHSD ⊗ MANHOLE (SD)	OT OPEN TOP
MHSS ⊗ MANHOLE (SS)	RB REBAR
PP ○ POWER POLE	RCP REINFORCED CONCRETE PIPE
TEL ○ TELEPHONE	R/W RIGHT OF WAY
⊗ WATER METER	SSE SANITARY SEWER EASEMENT
⊗ WATER VALVE	SL SETBACK LINE
→ STORMWATER FLOW	VCP VITRIFIED CLAY PIPE
→ TRAFFIC FLOW	

LINETYPES	
— CIV — CABLE TV	— SS — SANITARY SEWER - EXIST.
— X — CHAIN LINK FENCE (PROPOSED)	— SW — SANITARY SEWER - NEW
— x — CHAIN LINK FENCE (EXISTING)	— SF — SILT FENCE
— (670) — CONTOURS - EXIST. GRADE	— SO — STORM SEWER - EXIST.
— (670) — CONTOURS - FINISHED GRADE	— SN — STORM SEWER - NEW
— FO — FIBER OPTIC	— UP — UNDERGROUND POWER
— FM — FORCE MAIN	— UT — UNDERGROUND TEL
— GAS — GAS LINE	— W — WATER LINE - EXIST.
— OHP — OVERHEAD POWER	— W — WATER - NEW
— OHT — OVERHEAD TELEPHONE	— W — WOOD FENCE
— RD — ROOF DRAIN - NEW	— WPCS — LIMITS OF DISTURBANCE



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THE LOFTS AT THE CAPITOL

CITY OF COLUMBIA
LEXINGTON COUNTY
SOUTH CAROLINA

933 MAIN ST. PROPERTIES
7C BRENDAN WAY NO. 1
GREENVILLE, SC 29615

HORIZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DESIGNED BY: WTB
DRAWN BY: WTB
CHECKED BY: TAS
DATE: 08/08/2016
S120209-BASE-CURRENT.dwg

EXISTING CONDITIONS /
DEMOLITION PLAN

SHEET 2 OF

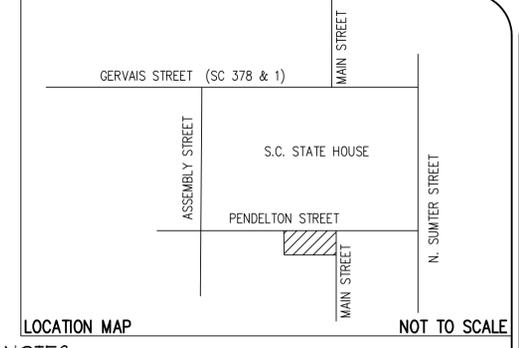
C100

The contractor shall coordinate with the engineer of record for a digital staking plan to establish complete horizontal and vertical control. The contractor is responsible for survey stakeout of all improvements. Discrepancies between the plans, construction stakes, and field conditions shall be reported to the engineer of record immediately for resolution prior to installation of proposed improvements."

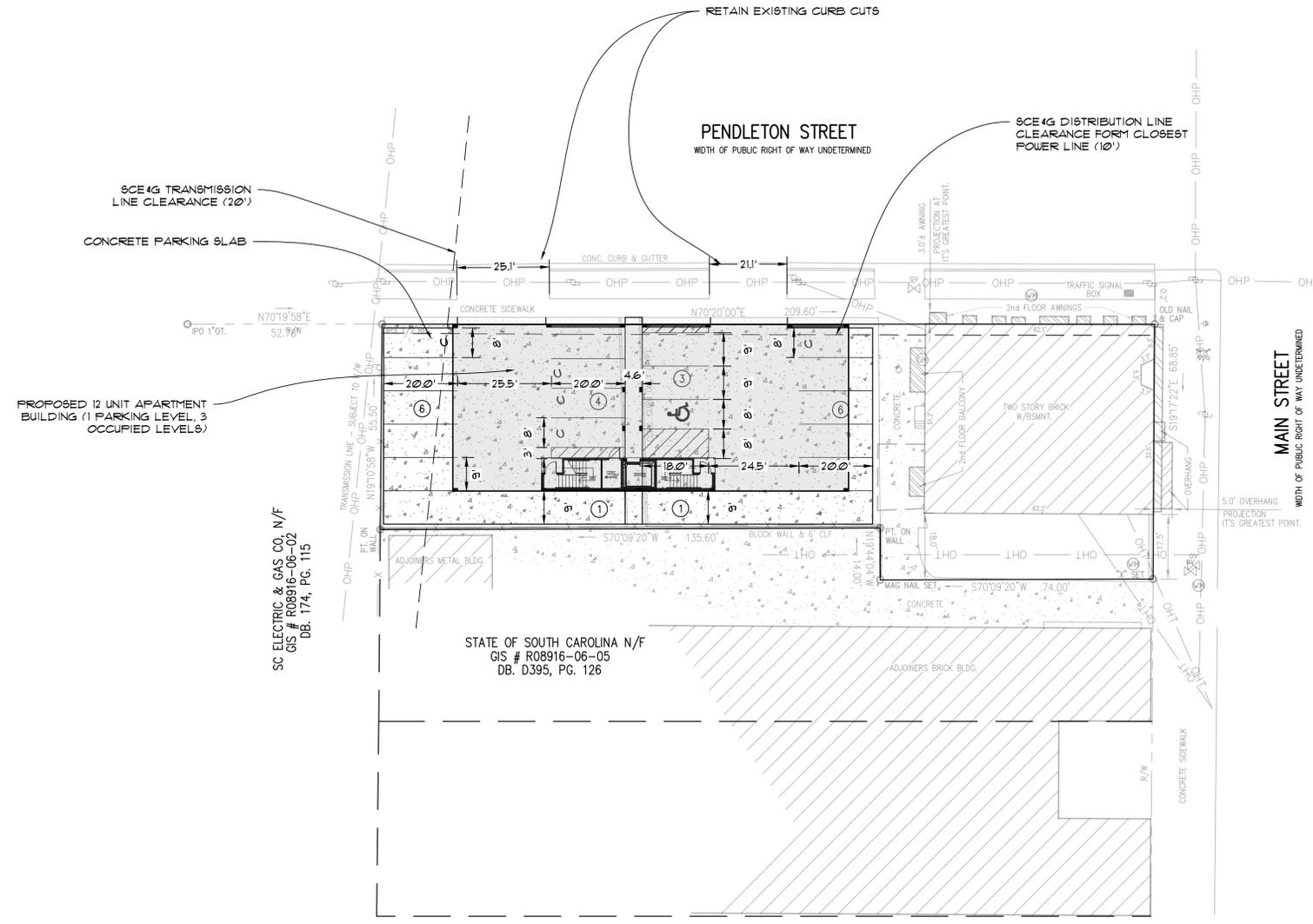
Parking Space Data		
Land Use	Parking Formula	Required Spaces
Existing Bldg.		
Coffee Shop	1500 sf @ 8 space per 1000 sf	12
Restaurant	1500 sf @ 8 space per 1000 sf	12
Apartments	4 apmt. @ 1.75 space / apt	7
Proposed Bldg.		
Apartments	6 apmt. (645 sf) @ 1.75 space / apmt.	11
Apartments	6 apmt. (900 sf) @ 2 space / apmt.	12
ON STREET METERED SPACES WITHIN 400' (EXISTING)		67
TOTAL SPACES REQUIRED WITH 50% REDUCTION=		27
HANDICAP SPACES PROVIDED		1
TOTAL SPACES PROVIDED ON SITE		21
VARIANCE FOR REMAINING ON SITE REQUIRED SPACES		6

12,604 SQ.FT.
0.289 ACRES

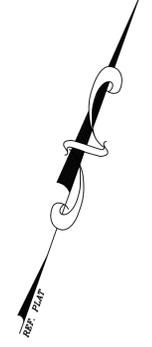
SITE DATA:
 PIN: R08916-06-03
 TOTAL SITE = 0.289 AC
 TOTAL DISTURBED AREA = 0.2 AC
 ZONING - DD (DD DESIGN/DEVELOPMENT DISTRICT)
 SETBACKS -
 FRONT - 0'
 REAR - 0'
 SIDES - 0'
 EXISTING IMPERVIOUS AREA = 0.28 AC.
 PROPOSED IMPERVIOUS AREA = 0.28 AC.



- SITE NOTES:**
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
 - DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF PARKING STALL OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ENTRY/EXIT PORCHES.
 - ASPHALT PAVING SECTIONS SHALL BE CONSTRUCTED PER THE DETAILS.
 - CONCRETE SIDEWALKS SHALL BE CONSTRUCTED WITH 3000 PSI CONCRETE 4" THICK WITH EXPANSION JOINTS AND SCORING PER DETAIL.
 - THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
 - ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAY INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
 - ALL CURBING TO BE 18" FORMED CONCRETE CURBING PER DETAIL, WITH 3000 PSI CONCRETE.
 - ANY MATERIAL DEMOLISHED AS INDICATED ON THIS PLAN IS TO BE HAULED OFF-SITE TO AN APPROVED LANDFILL.
 - TRUNCATED DOME TILES ARE TYPICAL AT ALL HANDICAP RAMPS. HANDICAP SPACES WILL BE MARKED WITH A FREESTANDING OR WALL MOUNTED SIGN. SEE DETAIL SHEETS FOR PROPER STRIPING.
 - TRASH PICKUP IS BY ROLLOUT CANS



MAIN STREET
WIDTH OF PUBLIC RIGHT OF WAY UNDETERMINED

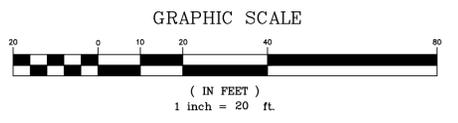


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LEGEND

SYMBOLS	ABBREVIATIONS
CB □ CATCH BASIN	BL BUILDING LINE
DI □ DROP INLET	CL CENTERLINE
ETC ELEC TRANSFORMER	CT CRIMP TOP
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x 80.0 ELEVATION (FINISH GRADE)	EP EDGE OF PAVEMENT
⊗ FIRE HYDRANT	FFE FINISHED FLOOR ELEVATION
⊙ GAS METER	FG FINISHED GRADE
⊕ GAS VALVE	IE INVERT ELEVATION
IP ○ IRON PIN	IPS IRON PIN SET
LP ○ LIGHT POLE	IPO IRON PIN OLD
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MHSD ⊙ MANHOLE (SD)	OT OPEN TOP
MHSS ⊙ MANHOLE (SS)	RB REBAR
PP ○ POWER POLE	RCP REINFORCED CONCRETE PIPE
TEL ○ TELEPHONE	R/W RIGHT OF WAY
⊙ WATER METER	SSE SANITARY SEWER EASEMENT
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→ STORMWATER FLOW	VCP VITRIFIED CLAY PIPE
→ TRAFFIC FLOW	

LINETYPES	
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— FM — FORCE MAIN	— UT — UNDERGROUND TEL
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SC. REG. NO. 24201

THE LOFTS AT THE CAPITOL
 CITY OF COLUMBIA
 LEXINGTON COUNTY
 SOUTH CAROLINA

933 MAIN ST. PROPERTIES
 7C BRENDAN WAY NO. 1
 GREENVILLE, SC 29615

HORIZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DESIGNED BY: WTB
DRAWN BY: WTB
CHECKED BY: TAS
DATE: 08/08/2016
 S120209-BASE-CURRENT.dwg

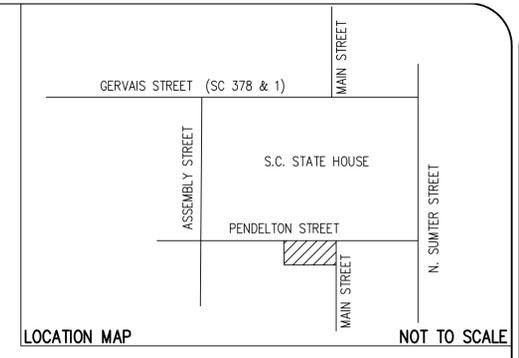
SITE PLAN

SHEET 3 OF

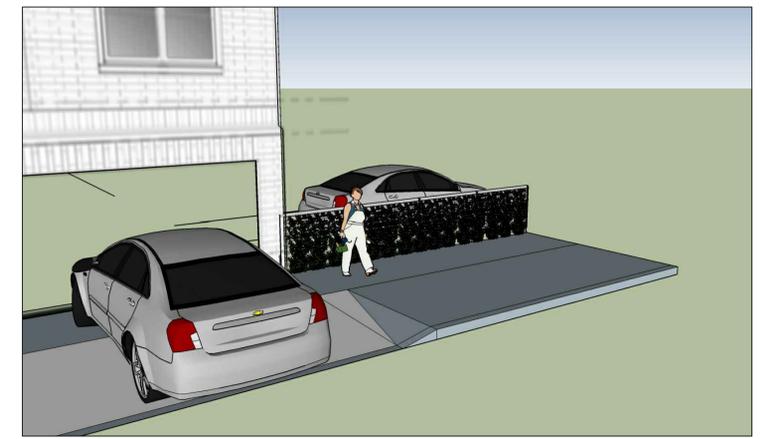
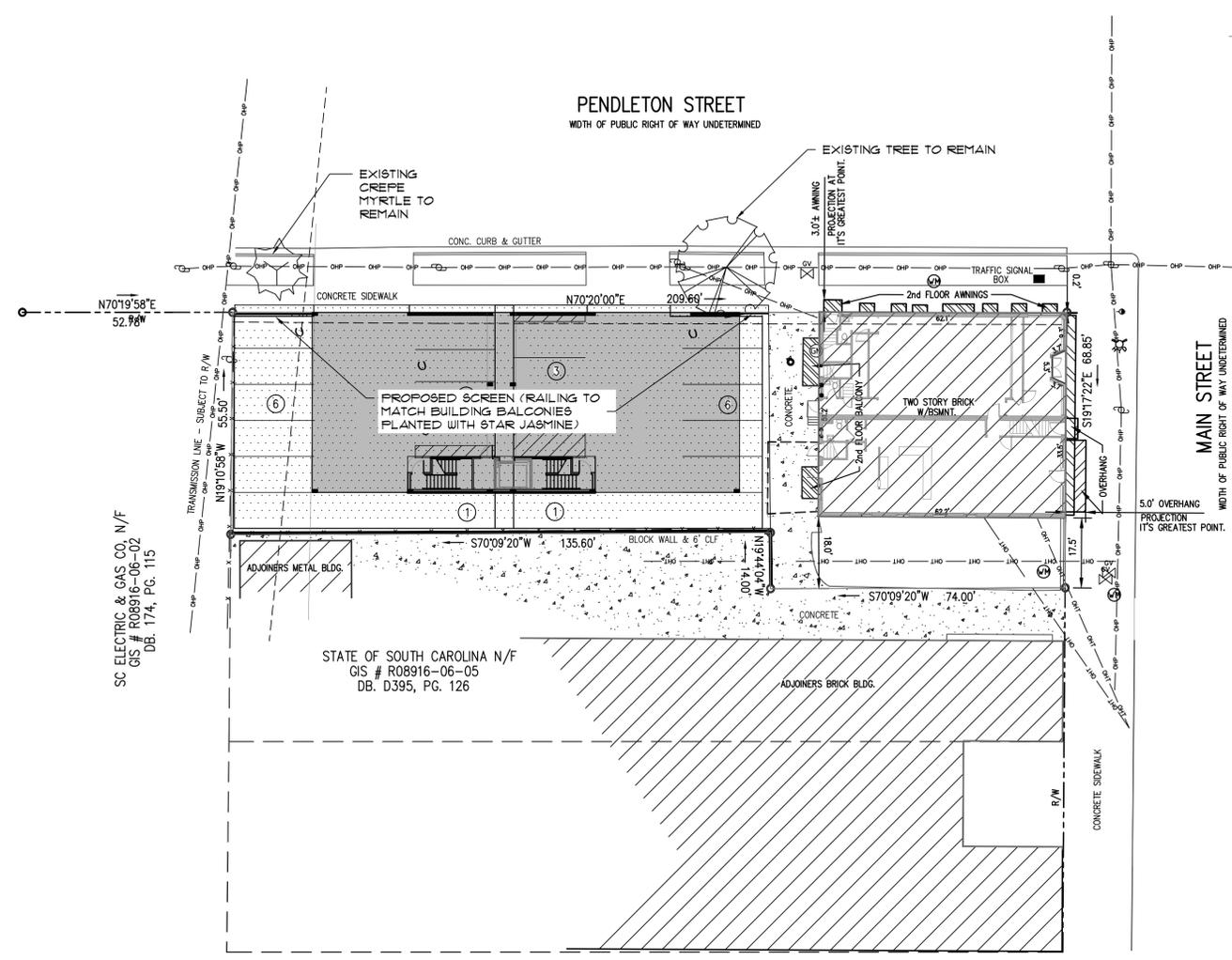
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SITE DATA:
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 TOTAL DISTURBED AREA = 0.2 AC
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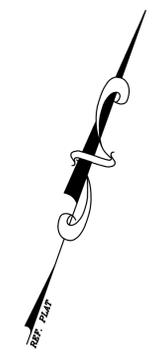
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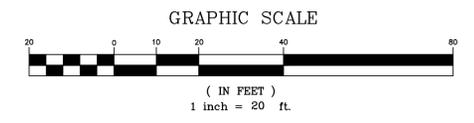
PROPOSED SCREEN (RAILING TO MATCH ARCHITECTURAL BALCONIES WITH CLIMBING STAR JASMINE)



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| ⊗ FIRE HYDRANT | FFE FINISHED FLOOR ELEVATION |
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| IP ○ IRON PIN | IPS IRON PIN SET |
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| MHSS ○ MANHOLE (SS) | RB REBAR |
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| TEL ○ TELEPHONE | R/W RIGHT OF WAY |
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| — 880 — CONTOURS — EXIST. GRADE | — NS — STORM SEWER — NEW |
| — (670) — CONTOURS — FINISHED GRADE | — UP — UNDERGROUND POWER |
| — FO — FIBER OPTIC | — UT — UNDERGROUND TEL |
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| — GAS — GAS LINE | — W — WATER — NEW |
| — OHP — OVERHEAD POWER | — W — WOOD FENCE |
| — OHT — OVERHEAD TELEPHONE | — WPCS — LIMITS OF DISTURBANCE |
| — RB — ROOF DRAIN — NEW | |



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SC. REG. NO. 522

THE LOFTS AT THE CAPITOL
 CITY OF COLUMBIA
 LEXINGTON COUNTY
 SOUTH CAROLINA

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VERT. SCALE: N/A
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DRAWN BY: WTB
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DATE: 01/06/2014
 S120209-BASE-CURRENT.dwg

LANDSCAPE PLAN

SHEET OF
L100