



02/27/2015

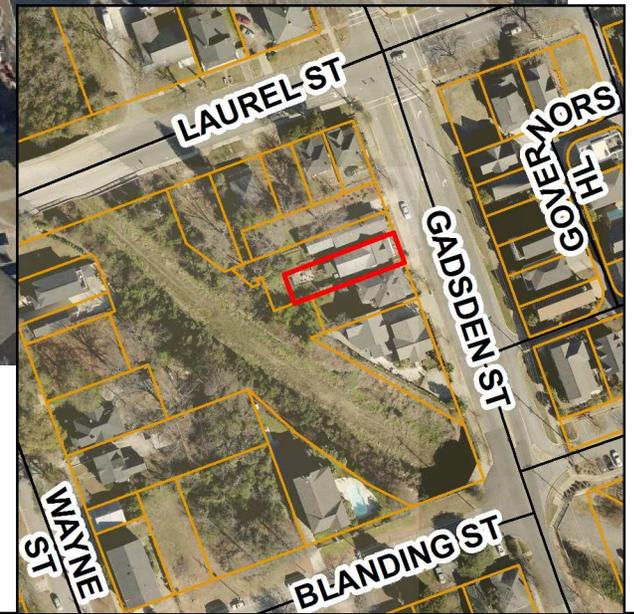


D/DRC Case

1721 Gadsden Street

Group III Individual Landmark

TMS: 09010-10-09



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case # 10

ADDRESS: 1721 Gadsden Street

APPLICANT: Maureen O'Hare, John Hewett, owners

TAX MAP REFERENCE: TMS#09010-10-09

USE OF PROPERTY: Residential

REVIEW DISTRICT: Individual Landmark, Group III

NATURE OF REQUEST: Request Certificate of Design Approval for exterior changes and Preliminary Certification for the Bailey Bill

FINDINGS/COMMENTS:

This is a c.1883 single-family home that has been part of the Arsenal Hill neighborhood for over a century. Part of the African-American enclave there, this house is a sole survivor of decades of change and altering demographics. Updated several times to keep up with changing trends, the building nonetheless retains some important historic detailing, such as its roof form, double bay windows on the south elevation, original siding and original windows. With a plan to reestablish a historically appropriate façade and open porch, the owners intend to restore the exterior to its historic appearance.

It appears that of the two bays on the left side, the front bay was likely a later addition; its foundation and windows are different from the rest of the house, however its appearance in a 1919 Sanborn map proves it was extant on the house almost 100 years ago. It is to be retained in this proposal.

This is a fortunate turn of events for this building, thanks to the interest in the new owners for retaining the building. Their first interest in the property included the demolition of the building and construction of a new house. They have since come to appreciate the building's history and have landmarked it so that it is protected as an important historic resource in the city.

PERTINENT SECTIONS FROM GUIDELINES

Renovation, Repairs and Rehabilitation:

City Ordinance 17-674(d) Criteria for review of design of structures and sites.

1. Issuance of a certificate of design approval shall be based upon the requirements set forth in the standards or design guidelines adopted by the city council for each historic district. For individual landmarks, the Governor's Mansion Protection Area, Elmwood Park Architectural Conservation District, and the Landmark District, the Secretary of the Interior's Standards for Rehabilitation, as amended and listed below (the "Standards"), shall serve as guidelines

until such time as design guidelines may be written and adopted by City Council for each local historic district. The Standards are to be applied to specific rehabilitation projects, taking into account the designation level of each district.

a. For landmark districts and individual landmarks, the historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The only item that is proposed that suggests “removal” of a historic characteristic of the property is a note on the architectural plans to repair a part of the brick foundation and then to “paint or parge.” The unpainted brick foundation that is visible on the front and sides should remain as brick and not be covered with a mortar or stucco system, nor should it gain a coat of paint as that would not retain and preserve a historic feature. For the foundation under the front bay, which appears to be either parged or to have concrete block, brick veneer or paint added to this feature may help it to blend in to the rest of the building, but would also leave the original foundation intact.

b. In architectural conservation districts and protection areas, the historic character of a district shall be retained and preserved through the preservation of historic materials and features which characterize the historic district.

Not applicable.

c. For individual landmarks and the landmark district, each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The porch is being reconstructed to what is believed to be a more original, open configuration. This will entail maintaining the existing roof, removing the walls, and installing columns and railings, as well as a new central set of steps. This would not create a false sense of historical development as it would return to a more original appearance.

The façade that has been removed was potentially a symmetrical façade with a central door flanked by two single windows, since there is a central front gable intersecting the roof. This roof form is often seen on a Folk Victorian design with a central door. The original front wall has been heavily altered and leaves little information to inform about the door placement.

What is proposed are two sets of paired windows flanking the central door. Unfortunately, they appear overly large individually in comparison to the original windows in the building, and are disproportionate to the façade and rhythm of openings on the side elevations when paired together. There are no other paired windows on the building. Other small historic homes similar to this in the area either had single windows or two single windows separated by wall space. Using the age and architectural cues from this building it would seem that the façade should have single windows symmetrically flanking a central door. Paired windows appear to be somewhat conjectural.

d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The porch enclosure has not acquired historic significance.

e. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The exterior elements that are original to the house will be preserved and restored, including the siding, front door and windows. There are several windows which are not original that will be replaced with wood windows to match the original.

f. Deteriorated historic features shall be repaired rather than replaced. Where the severe deterioration or complete loss requires replacement of a distinctive feature, the new feature shall match the old in design, color, finish, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence, and character-defining features that have been lost due to intentional damage, removal or neglect shall be rebuilt.

The windows have some deterioration in a number of locations, but most commonly along the bottom rail. These rails will likely need to be repaired or replaced on several sashes in order for them to be restored to working condition. Some missing, replaced, or severely deteriorated windows, after review by staff, could be replaced by wood windows to match the original configuration. Some replacement of non-original windows is indicated in the architect's renderings, and indicates at least one opening being opened back up to its original large size. Staff has also reviewed most of the windows and recommendations are included at the end of the evaluation. For the front bay, for instance, which has a shorter top sash than the bottom sash, only 3 of the 6 sashes found here appear to be historic, and they are in disrepair. For the front and side window, the only ones visible, the best of the sashes can be used or, if severely deteriorated, replaced with windows of the same unusual configuration, as this is part of the evidence that the bay was an addition.

The replacement of the porch is not exact as we do not have a photograph of what originally existed. What is proposed is fairly simple, with square posts and square pickets. Since this house has a Folk Victorian influence with the two bay windows, turned posts and balustrade would also be candidates for what existed here originally. In looking at the proportions of the rather narrow façade and other porch examples in the area it does seem that 10 inch wide columns are too large for this building. Posts closer to 6 or 8 inches would be more appropriate. When the wall enclosure is removed under the porch roof there may be ghost marks from the original columns to indicate size and location.

As mentioned earlier, there is no documentary evidence as to the original façade, which must be completely rebuilt, but its existing style and placement of openings and features suggests a central door flanked by two single windows. The doorway likely had other enhancements popular in the late 1800s, such as sidelights or a transom, or both. Staff recommends reducing the proposed paired windows to single windows, and could work with the applicant on any additional window treatment around the door.

There are some areas of disrepair on the trim, especially the fascia and shingle mold, some of which appears to have been replaced. These areas should be repaired or replaced with wood matching the original configuration, as best as can be determined. Trim on the new windows and door on the façade should match that on the sides of the house.

g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The treatment for the wood siding as proposed is to remove all of the siding, strip the paint and plane where necessary to smooth out imperfections and then re-install the siding. This is a fairly aggressive process that has the potential to damage siding during removal so the

utmost care should be taken. Stripping may sufficient without the added step of planing. Fortunately the oldest siding on the front half of the building is exceptionally thick so it may handle the removal better than thinner wood siding. Given the massive paint failure occurring on the oldest siding it will require a great deal of effort to get back to a wood surface, but removal efforts should not damage the original siding. For the “newer” siding on the rear addition of the building, which may not have as extensive of paint failure, scraping and sanding in place may produce favorable results.

b. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

A rear addition is proposed in the location of a deck that is being removed. The deck is not visible from the public right of way given the narrowness of the lot and the adjacent buildings, and it would appear that the addition will also not be visible. This new addition is removing part of the back wall, which in itself is an older addition, so original historic materials are not being destroyed.

i. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new addition does not compromise the original form and integrity of the building.

BAILEY BILL, Sec. 17-698. - Eligible rehabilitation.

(a) Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

(1) The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.

Already addressed above.

(2) Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.

Already addressed above.

(3) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

No changes on this building have acquired historic significance.

(4) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

Already addressed above.

(5) Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Already addressed above.

(6) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Already addressed above.

(7) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.

The addition will not be visible.

(8) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Already addressed above.

(b) Work to be reviewed. The following work will be reviewed according to the standards set forth above:

(1) Repairs to the exterior of the designated building.

Already delineated above.

(2) Alterations to the exterior of the designated building.

Already delineated above.

(3) New construction on the property on which the building is located.

Not applicable.

(4) Alterations to interior primary public spaces.

Not applicable.

(5) Any remaining work where the expenditures for such work are being used to satisfy the minimum expenditures for rehabilitation.

The above items are the parameters for review for projects that receive the Bailey Bill. If any future work is proposed beyond the scope of what is presented here then it will be reviewed.

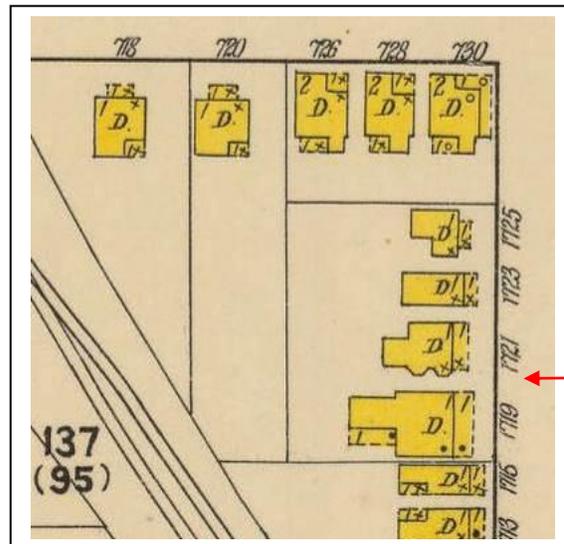
STAFF RECOMMENDATIONS:

Staff finds that the project complies with Sec. 17-674(d) of the City Ordinance and recommends a Certificate of Design Approval with the following conditions:

- That the proposed paired windows on the façade be reduced to single windows, compatible in size with the historic windows on the building
- That any additional transom or sidelight detail for the front door be worked out with staff
- That the foundation not gain any paint or parge coat on non-coated brick, but that the foundation under the non-original bay may be painted or veneered as it has already been painted
- That the new porch columns be reduced to an 8 inch width maximum, but could be 6 inches
- That any original windows be repaired, but if beyond repair as determined by staff, that they be replaced in kind with wood windows matching the profiles of the original
- That if any historic details are discovered during demolition affecting the proposed façade or porch arrangement, alterations to the design can be worked out with staff
- All details be deferred to staff

Staff finds that the project generally complies with Sec. 17-698 of the City Ordinance and recommends preliminary certification for the Bailey Bill with the following conditions:

- the project meeting or exceeding the 20% investment threshold requirements for qualified rehabilitation expenses
- All work meeting the standards for work as outlined in Section 17-698
- That the proposed paired windows on the façade be reduced to single windows, compatible in size with the historic windows on the building
- That any additional transom or sidelight detail for the front door be worked out with staff
- That the foundation not gain any paint or parge coat on non-coated brick, but that the foundation under the non-original bay may be painted or veneered as it has already been painted
- That the new porch columns be reduced to an 8 inch width maximum, but could be 6 inches
- That any original windows be repaired, but if beyond repair as determined by staff, that they be replaced in kind with wood windows matching the profiles of the original
- That if any historic details are discovered during demolition affecting the proposed façade or porch arrangement, alterations to the design can be worked out with staff
- All details deferred to staff



The unique double bays on the south side show up in this 1919 Sanborn map.





1964 images of similar cottages one block to the west on Wayne Street. Note the single windows and volume of wall space around them, as well as the transoms and sidelights



Beadboard porch ceiling



Former front porch, original door



First bay window



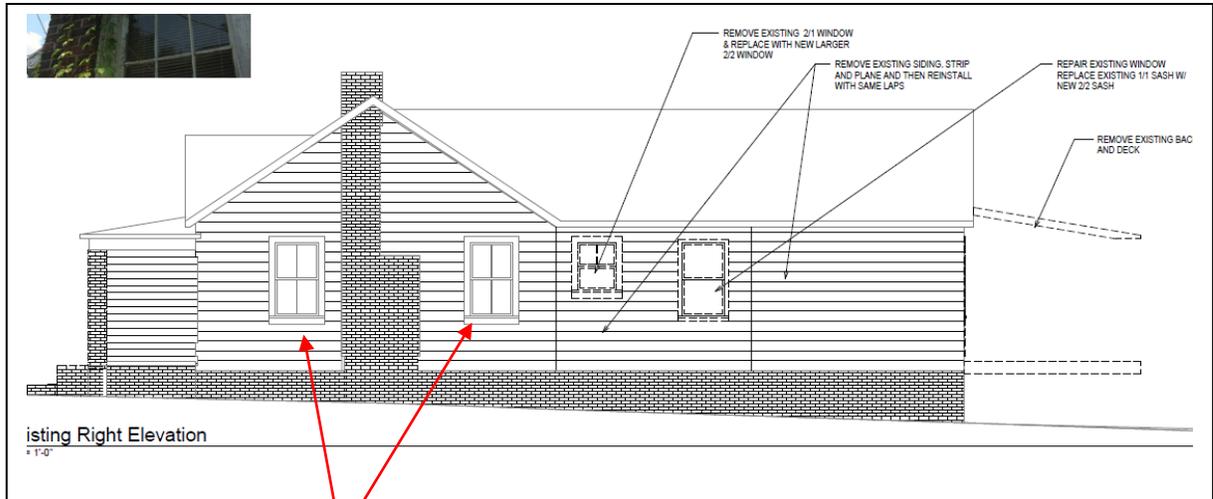
Heart pine flooring



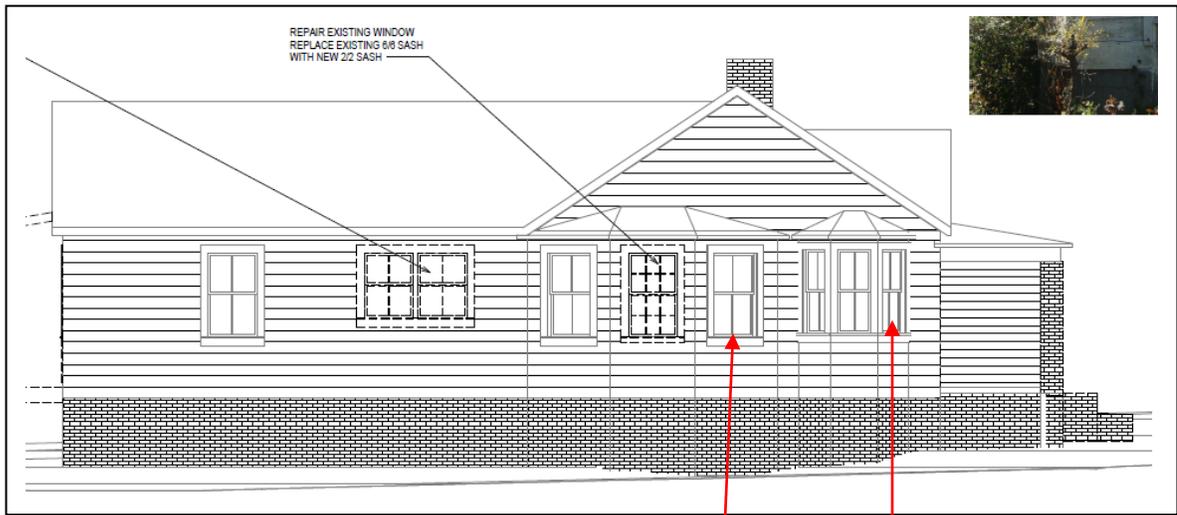
Planter where front wall stood



Some issues evident with one window

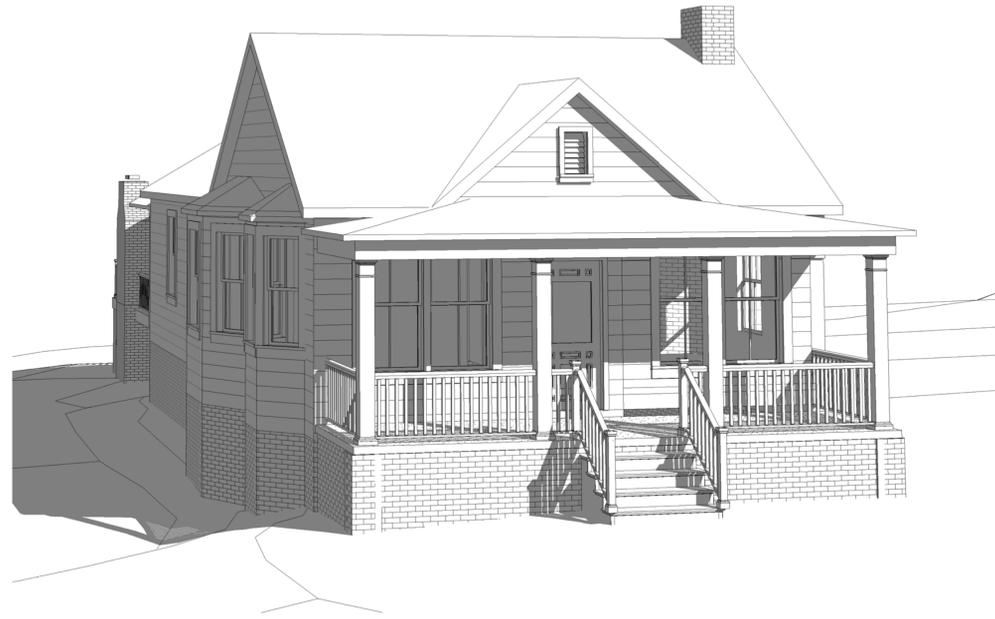


Only original windows left on this elevation

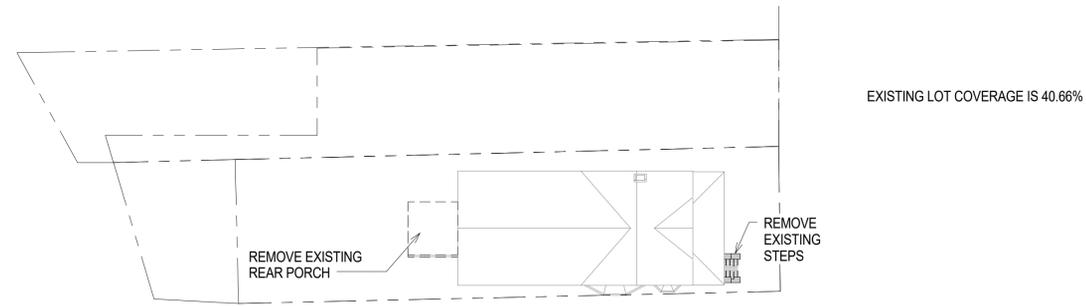


Only original windows left on this elevation

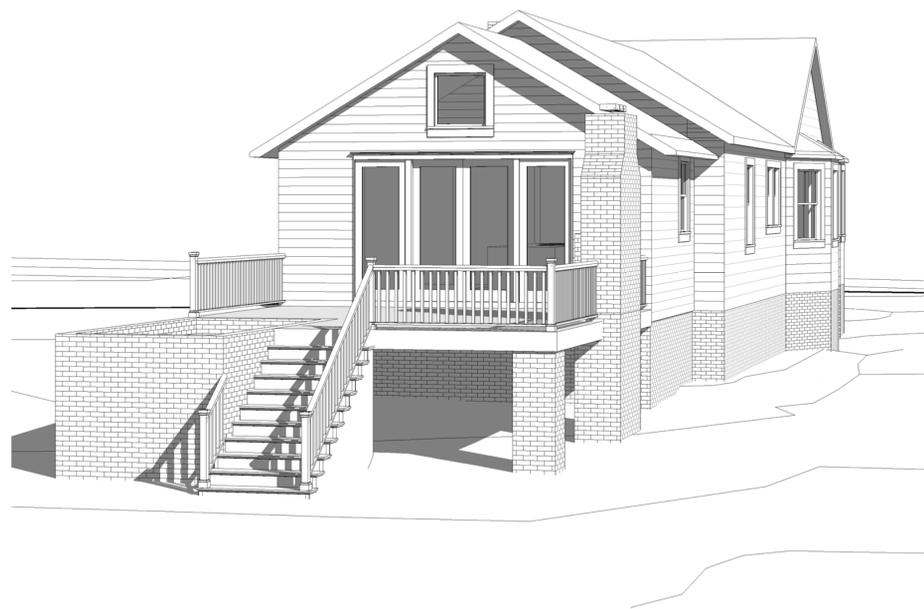
1721 Gadsden Street Renovation



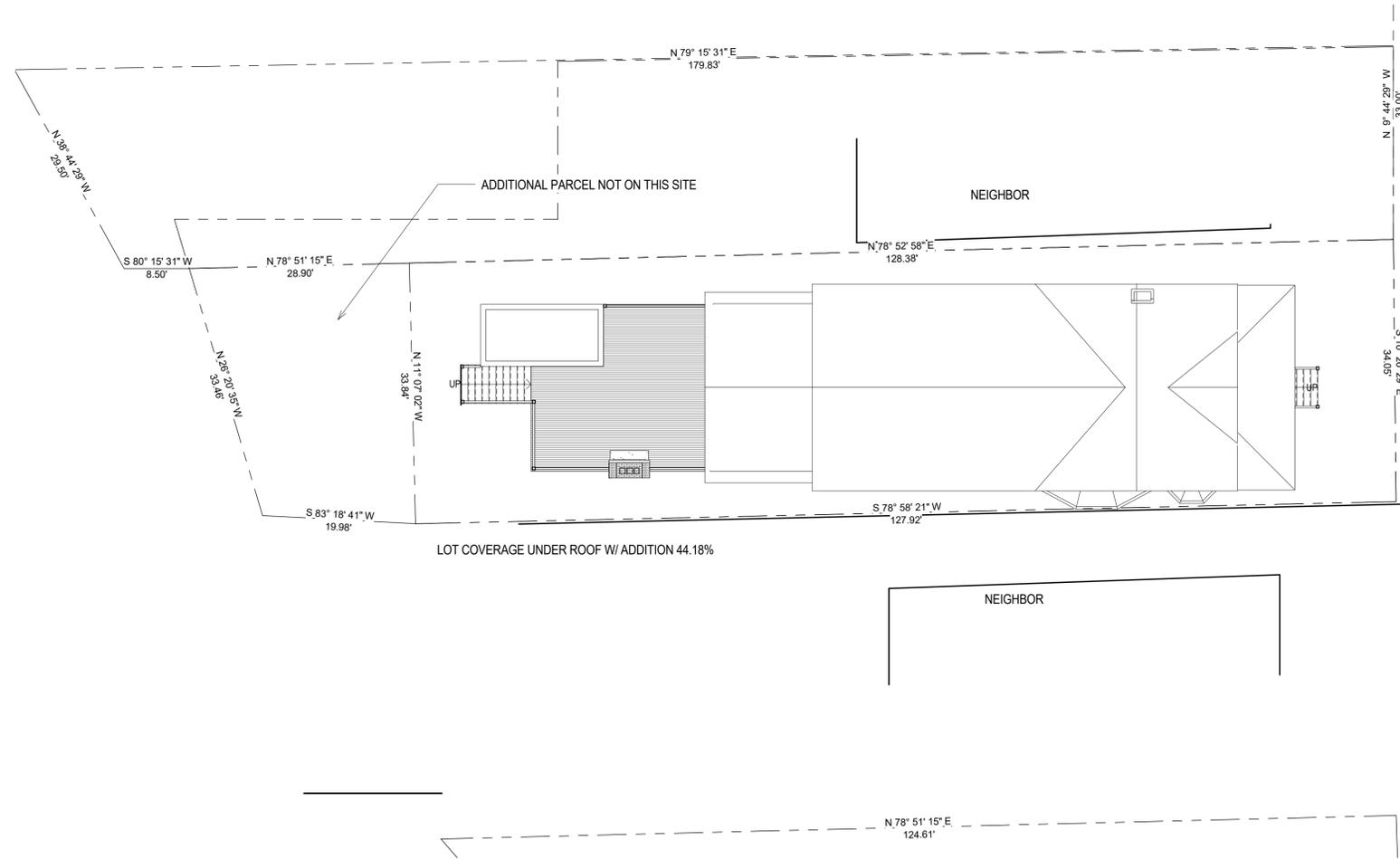
2 Front Sketch
A-0.01



4 Demolition Site Plan
A-0.01 1" = 20'-0"



3 Rear Sketch
A-0.01



1 Proposed Site Level
A-0.01 1" = 10'-0"

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PROJECT	1721 Gadsden Renovation
SHEET TITLE	Site Study

SHEET ISSUED	08/08/16
REVISED	
DESCRIPTION	

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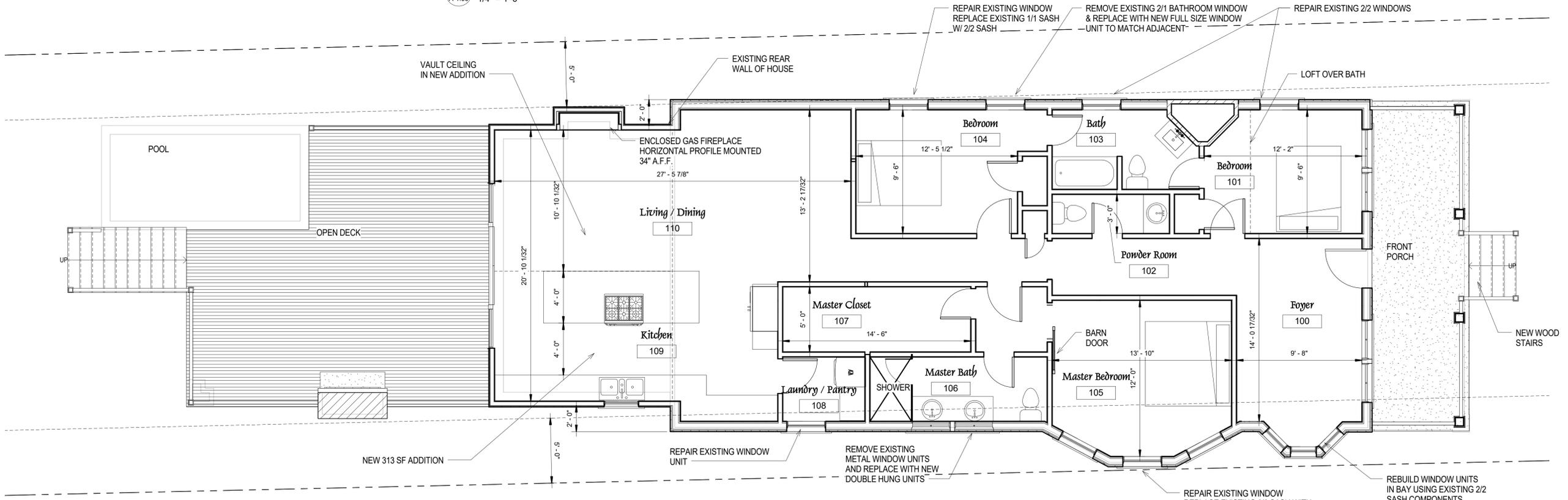
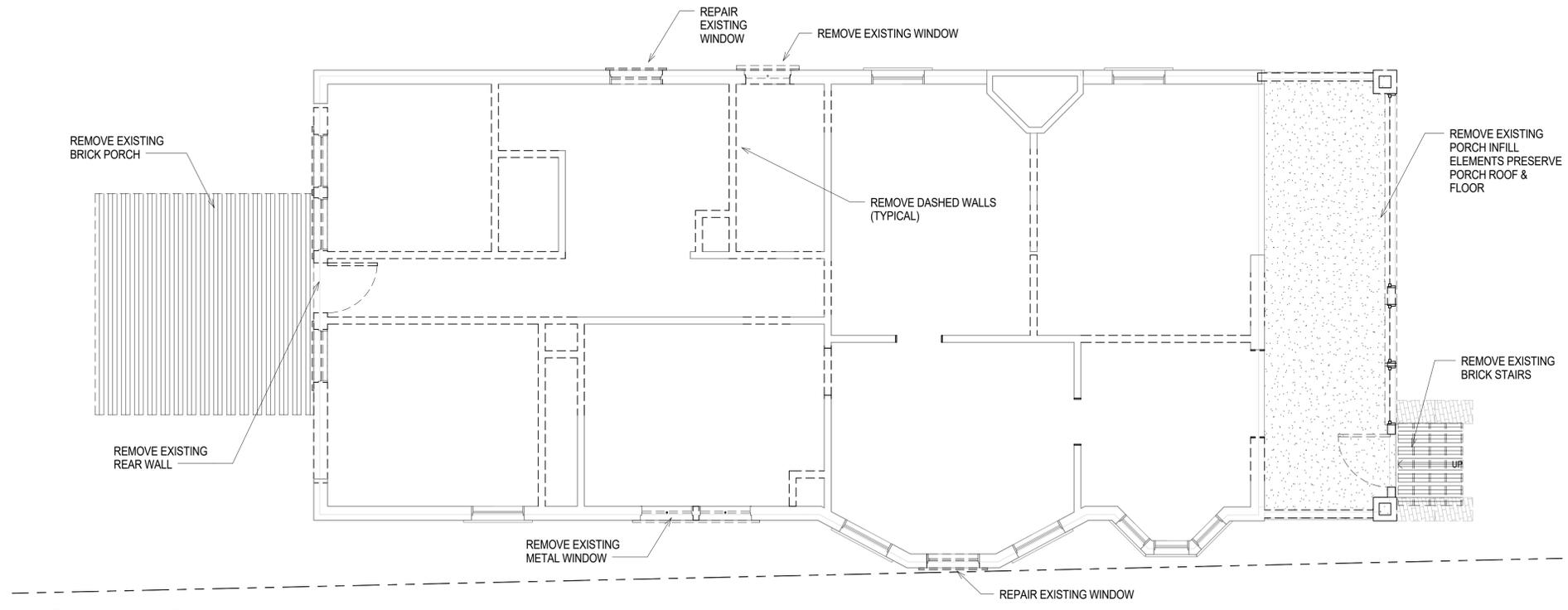
PROJECT 1721 Gadsden Renovation
SHEET TITLE Plan Study

SHEET ISSUED	DESCRIPTION
08/08/16	
REVISED	

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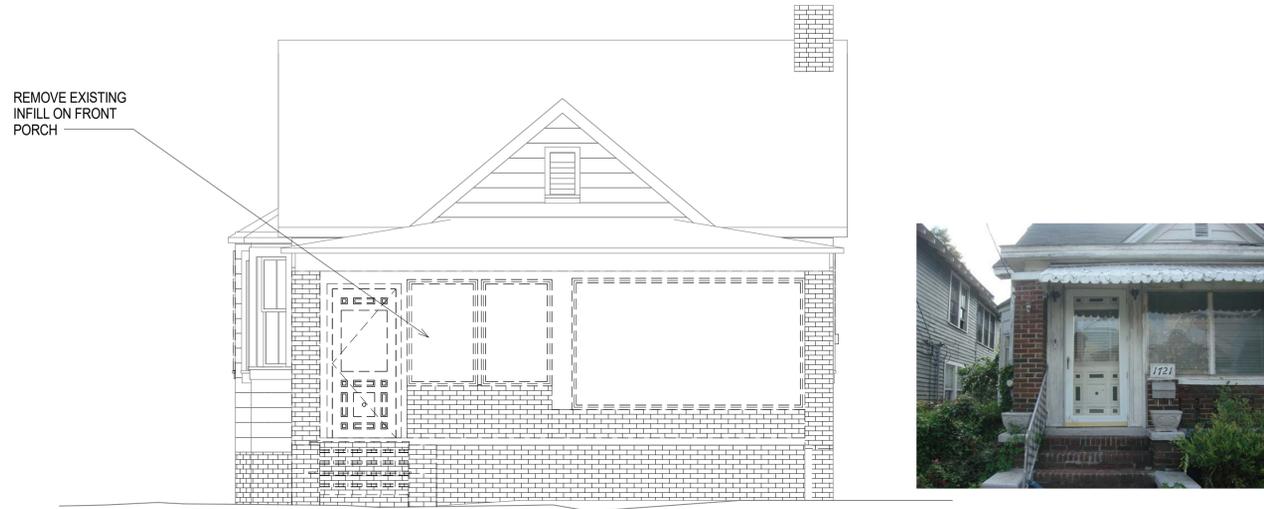
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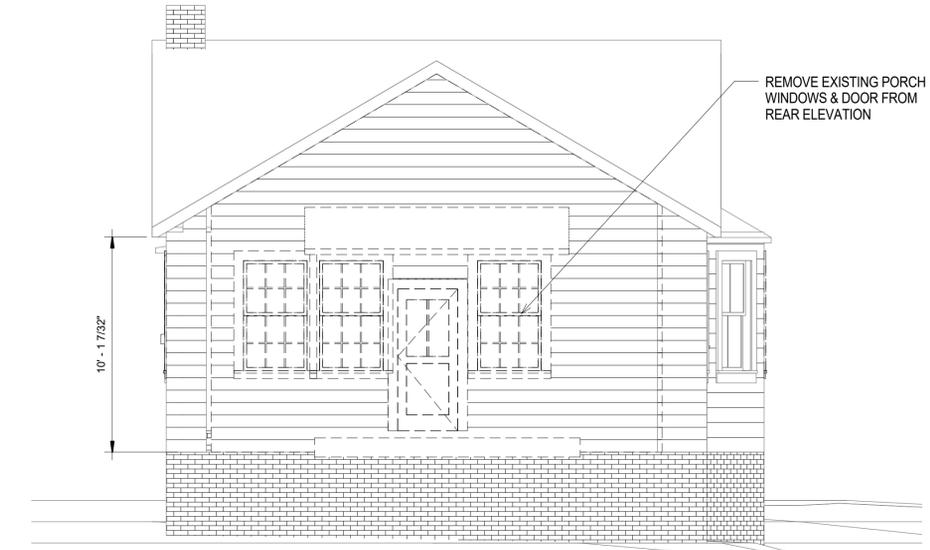




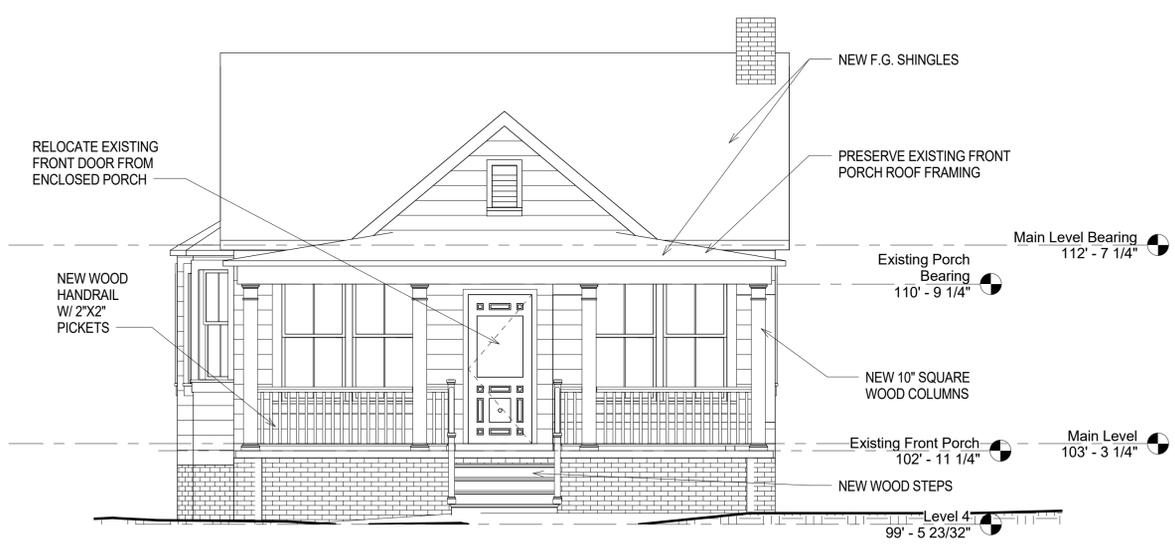
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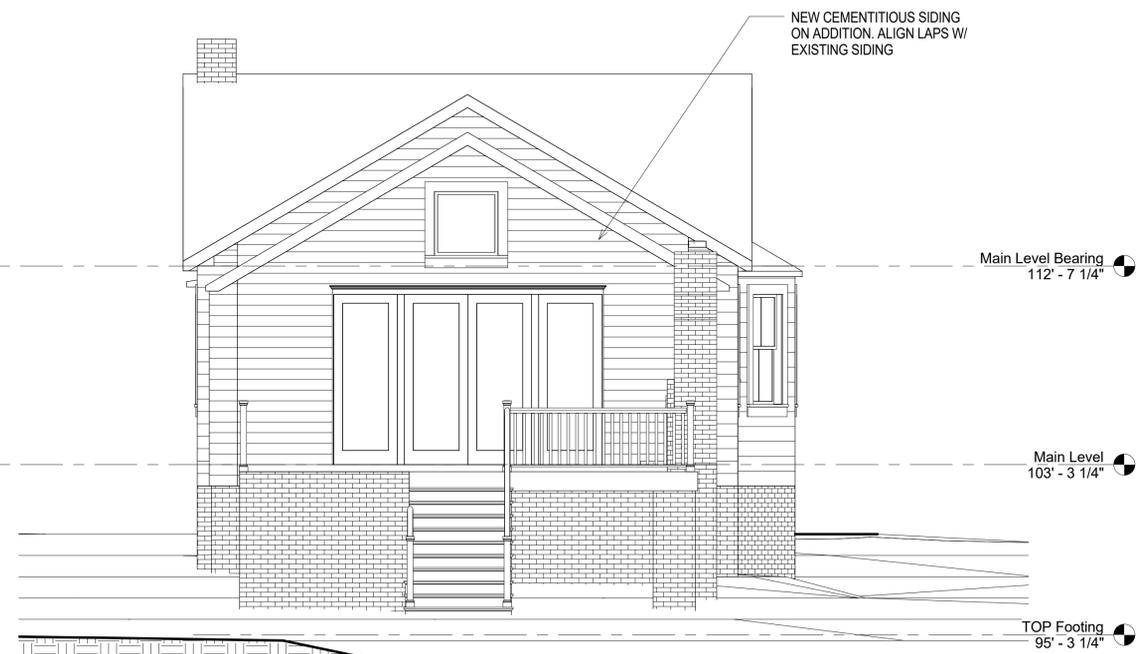
2 Existing Front Elevation
A-2.01 1/4" = 1'-0"



4 Existing Rear Elevation
A-2.01 1/4" = 1'-0"



1 Proposed Front Elevation
A-2.01 1/4" = 1'-0"



3 Proposed Rear Elevation
A-2.01 1/4" = 1'-0"

PROJECT	1721 Gadsden Renovation
SHEET TITLE	Elevations

SHEET ISSUED	05/25/16
REVISED	
DESCRIPTION	

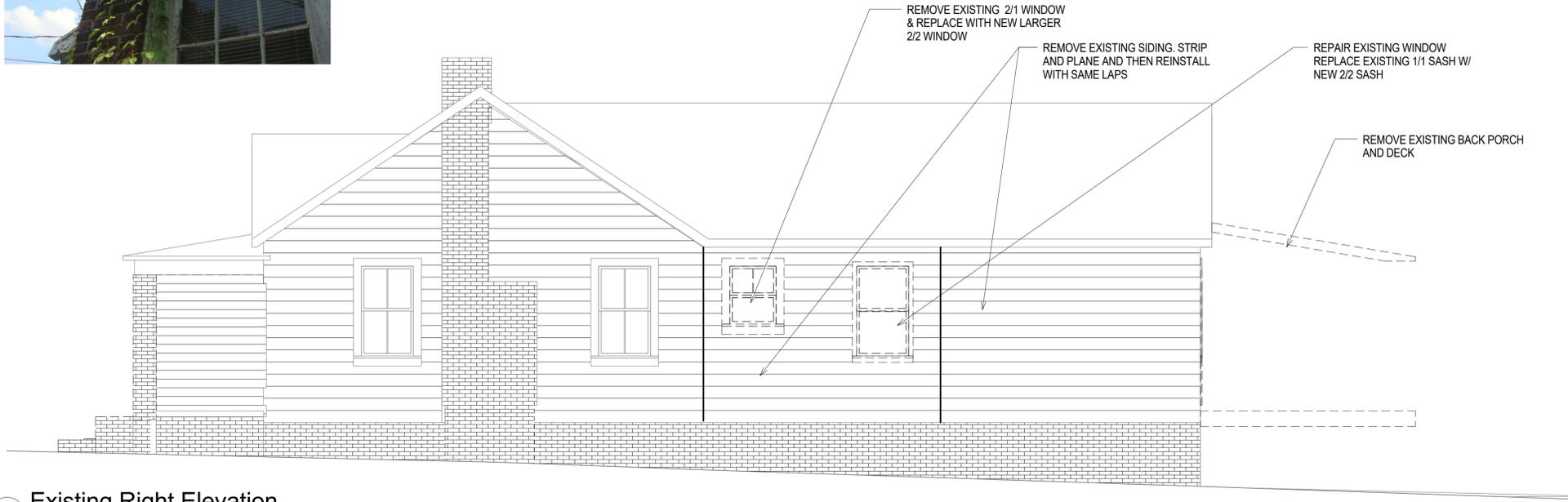
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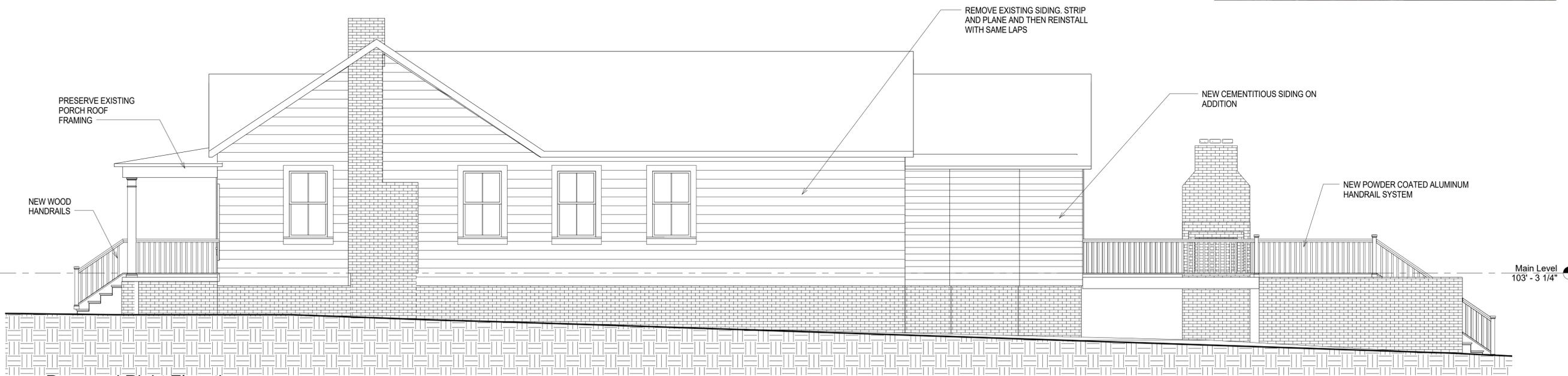
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A-2.01



NOTE EXTENSIVE SIDING REPLACEMENT AND PATCHING HAS OCCURRED ON BACK HALF OF RIGHT SIDE
 REMOVE EXISTING SIDING, STRIP AND PLANE AND THEN REINSTALL WITH CONSISTENT LAPS



2 Existing Right Elevation
 A-2.02 1/4" = 1'-0"



1 Proposed Right Elevation
 A-2.02 1/4" = 1'-0"

PROJECT	1721 Gadsden Renovation
SHEET TITLE	Elevations

SHEET ISSUED	08/08/16
REVISED	
DESCRIPTION	

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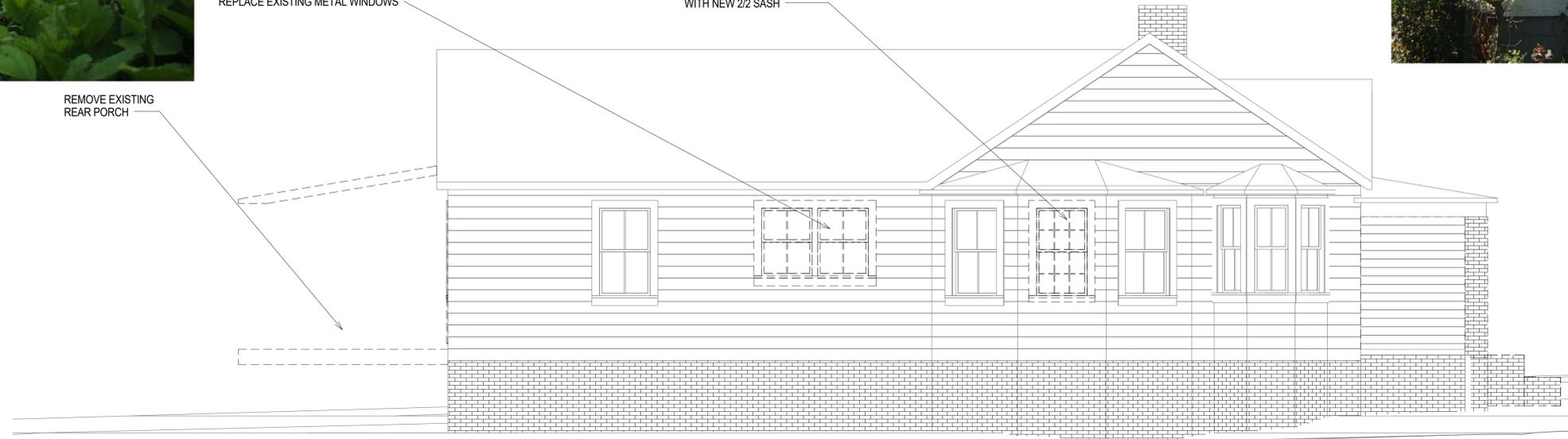
REMOVE EXISTING REAR PORCH



REPAIR EXISTING WINDOW
REPLACE EXISTING 6/6 SASH
WITH NEW 2/2 SASH



REPLACE EXISTING METAL WINDOWS



2 Existing Left Elevation
A-2.03 1/4" = 1'-0"

REMOVE EXISTING SIDING, STRIP
AND PLANE AND THEN REINSTALL
WITH SAME LAPS



1 Proposed Left Elevation
A-2.03 1/4" = 1'-0"

PATCH & REPAIR EXISTING
FOUNDATION WALL & PAINT OR PARGE

Main Level Bearing
112' - 7 1/4"

Main Level
103' - 3 1/4"

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PROJECT	1721 Gadsden Renovation
SHEET TITLE	Elevation

SHEET ISSUED	08/06/16
REVISED	
DESCRIPTION	

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CITY OF COLUMBIA
PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

Architectural feature <u>Roof</u> Approximate date of feature <u>1890's</u> Describe feature and its condition the shingles are caved-in and dilapidated - wood trim is rotted Photograph No. _____ Drawing No. _____	Describe work and impact on feature Demolition of the roof. The roof structure will remain but the roof shingles and rotted wood trim will be replaced
Architectural feature <u>exterior Siding</u> Approximate date of feature <u>1890's</u> Describe feature and its condition chipped paint, rotted wood, missing wood pieces Photograph No. _____ Drawing No. _____	Describe work and impact on feature Siding will be refurbished by removing the old, chipped paint down to the wood. The wood that needs repaired will be repaired/replaced. New paint will be applied.
Architectural feature <u>windows</u> Approximate date of feature <u>1890's</u> Describe feature and its condition Photograph No. _____ Drawing No. _____	Describe work and impact on feature Existing windows will be repaired and refurbished as noted on drawings. Several windows on sides that currently have sashes that are inconsistent with the dominant historic 2/2 slashes
Architectural feature <u>Exterior door</u> Approximate date of feature <u>1890's</u> Describe feature and its condition chipped paint and shabby looking Photograph No. _____ Drawing No. _____	Describe work and impact on feature refurbished to the original door

found on the majority of the house will have new 2/2 sashes fabricated to make them consistent with the historic sash profile for the house.

CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

Architectural feature <u>windows</u> Approximate date of feature _____ Describe feature and its condition _____ Photograph No. _____ Drawing No. _____	Describe work and impact on feature restore existing window + replace
Architectural feature <u>Front handrails</u> Approximate date of feature _____ Describe feature and its condition _____ Photograph No. _____ Drawing No. _____	Describe work and impact on feature New wood handrails on front with 2x2 square wood pickets and a routed top rail and bottom rail.
Architectural feature <u>front porch roof</u> Approximate date of feature _____ Describe feature and its condition _____ Photograph No. _____ Drawing No. _____	Describe work and impact on feature Evaluate existing front porch roof system once non historic infill has been removed. Preserve roof framing system and either preserve or
Architectural feature _____ Approximate date of feature _____ Describe feature and its condition _____ Photograph No. _____ Drawing No. _____	Describe work and impact on feature duplicate porch ceiling system depending on which option is best to preserve the look and feel of the home.

*Fair market value means the appraised value as certified to the DDRRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.