



02/21/2013



D/DRC Case

2207 College Street

Old Shandon / Lower Waverly Protection Area

TMS: 11409-02-21



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case # 11

ADDRESS: 2207 College Street

APPLICANT: Dave Barry, Celtic Property and Development

TAX MAP REFERENCE: TMS#11409-02-21

USE OF PROPERTY: Residential

REVIEW DISTRICT: Old Shandon/Lower Waverly Protection Area

NATURE OF REQUEST: Request Certificate of Design Approval for new construction

FINDINGS/COMMENTS:

This is a request for construction of a single-family, two-story home on an existing vacant lot, which is located between two historic two-story residential buildings.

The guidelines for this district are the only parameters by which the D/DRC is permitted to make a decision on this project. Interior design, lighting, or furniture placements are not considered in the guidelines listed below. This district was created in 2001 at the request of the neighborhood, with the intent that the new construction would reinforce existing historic patterns. As mentioned in the guidelines below for New Construction, the style of a new house does not need to imitate a past architectural style, but it does need to be consistent with “existing buildings along a street in terms of height, scale, proportion and rhythm of openings, setbacks, orientation and spacing.” While the proposed house has a blend of styles, its features should reflect the guidelines.

Staff commented to the applicant that their original submittal was not in keeping with the guidelines in terms of window openings on side elevations. They submitted an altered version and both versions are included in the evaluation. As we only review what is visible to the public right of way, we have not reviewed the rear wall of the building.

PERTINENT SECTIONS FROM GUIDELINES

Section 4-A: *GUIDELINES FOR NEW CONSTRUCTION*

Principles

Within the Old Shandon/Lower Waverly district, there are numerous vacant lots and non-contributing structures. The construction of new or replacement structures on these lots will greatly affect the district by either reinforcing or undermining existing historic patterns. New construction should be consistent with existing buildings along a street in terms of height, scale, proportion and rhythm of openings, setbacks, orientation and spacing. However, new buildings need not imitate past architectural styles; they may reflect the era of their own construction to carry on the tradition of diversity in building styles present.

Guidelines

1. *Height: Construct new buildings to a height that is compatible with the height of surrounding buildings. New construction shall not vary greatly in height from older buildings in the vicinity*

The proposed house is two stories with a roof pitch (8/12) and height that appear to be compatible with surrounding buildings.

2. *Size & Scale: The size and scale of a new building shall be visually compatible with surrounding buildings*

The proposed house is 23 feet wide and 37 feet deep, excluding the front porch. The scale of the building is generally compatible to structures nearby, although it is slightly narrower than most. To accommodate the required off-street parking mandated by the City, the narrower footprint may work best on this lot.

3. *Massing: Arrange the mass of a new building (the relationship of solid components [ex. walls, columns, etc.] to open spaces [ex. windows, doors, arches]) so that it is compatible with existing historic buildings on the block or street.*

While the façade is fairly consistent with the street in its massing, the side elevations are not compatible with historic buildings on the street in terms of solid components and open spaces. On existing historic side elevations, most of the massing is broken up by single or paired vertically oriented, rectangular windows that are regularly placed. On the two-story buildings there is often symmetry between the floors with windows aligned vertically.

On the proposed west (left) elevation, the original proposal included a single, diamond-shaped window on the first floor and a single, small, vertical window almost centrally located on the second floor. The latest submittal added a small vertical window to the first floor and one full size vertical window to the upper floor. This gives the left side a total of one full size window, two small windows, and a diamond-shaped window. The location and diminutive size of three of the windows leaves a large amount of wall space in relationship to voids and the massing is inconsistent with historic buildings. The adjacent two buildings have side walls that are approximately 34 feet long, so they are somewhat comparable to the 37' length of the proposed building. Their massing is broken up into two wide bays, delineated by the alignment of full-size, vertical windows on both floors.

A similar inconsistency with massing is on the east (right) side of the proposed building. The original drawing showed a small undersized vertical window and a horizontal transom window on the second floor, with a single, full size vertical window on the first floor. The latest drawing adds a full size window to the second floor but removes the full size vertical window on the first floor and instead introduces an overly large transom-style, horizontal three-lite row of windows, unlike anything seen on the block or street, or the entire district. This change has diminished the wall's ability to be compatible with the massing of existing historic buildings as it has created a large volume of wall space on the right side.

4. *Directional Expression: Site the entrance of the building so that it is compatible with surrounding buildings.*

The entrance to the proposed house is on the street façade, which is compatible with historic homes in the district.

5. *Setback: Locate the new building on the site so that the distance of the structure from the right of way is similar to adjacent structures.*

The placement of this building has not been delineated clearly by the applicant but a plat with a driveway proposal suggests this will be in line with the setback of the adjacent buildings. Staff can work out this placement with the applicant to ensure it meets the guidelines.

6. *Sense of Entry: Place the main entrance and the associated architectural elements (porches, steps, etc.) so that they are compatible to surrounding structures. The main entrance shall be constructed with covered porches, porticos or other architectural forms that are found on historic structures on the block or street.*

The sense of entry on the proposed house is generated by a front porch. This is compatible to surrounding historic homes in the area.

7. *Rhythm of Openings: Construct new buildings so that the relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door & window openings) is visually compatible with historic buildings on the block or street. Maintain a similar ratio of height to width in the bays of the façade.*

The façade has an acceptable rhythm of openings but on side elevations the relationship of width to height of windows is not visually compatible with historic buildings. As mentioned above, the sizes, shapes, and locations of the openings leave large voids in the walls and appear haphazard. Undersized or unusually shaped windows do not give a width to height ratio consistent with the vertically oriented, rectangular windows that dominate the historic buildings nearby.

In adjacent two-story historic buildings the rhythm of openings is symmetrical, and is used to delineate identifiable bays on the house. The current arrangement does not visually create a rhythm that has any relationship to historic buildings on the block or street and does not create a similar ratio of height to width in the bays.

In order to create a more compatible rhythm of openings there should be full size windows on the sides closer to the front elevation and definable bays, even if windows on both floors are not necessarily symmetrical. Given the interior floor plan this would suggest windows going into closets, etc. Windows may need to be walled in on the interior in order to satisfy both the guidelines and the interior floor plan. This is a solution that has been used on past projects with similar interior challenges.

8. *Roof Shape: Use roof shapes, pitches, and materials that are visually compatible with those of surrounding buildings. (ex. when a majority of the buildings in an area use a hip or gable roof form, a hip or gable roof should be used). Do not introduce roof shapes or pitches that are not found in the area.*

The proposed roof is a front gable with an 8/12 pitch. This is compatible with existing historic houses on the street.

9. *Materials, Texture, Details Use materials, textures, and architectural features that are visually compatible with those of historic buildings on the block or street.*

Roof Materials: All roof surfaces will be covered in asphalt shingles.

Windows: The proposed windows are vinyl double hung sashes with a 3/1 configuration, a diamond shaped window, a transom window, and a large row of three panes in a horizontal band. While the 3/1 vertically oriented windows generally appear in keeping with the area, on the side elevations there is only one full size rectangular window on each side. This is

not visually compatible with historic buildings, which feature full size vertically oriented rectangular windows in side elevations. On Greene Street there are also a few accent windows found on rear walls or side walls within a projecting bay. They are toward the middle or rear of the building and are square shaped, but they are not the dominant window type. They are found on walls with normal size windows.

The proposed horizontal transom windows on the east (right) side, both small and large, have no precedent on historic buildings in the area. Likewise, the diamond-shaped window does not meet the guideline. While it may be a feature found on houses of a similar form or style in other areas of Columbia, the guidelines specifically address examples that are found within the block or street. This is an important component of the guidelines that recognizes the local influences unique to each neighborhood and maintains a continuity of details that were generated within a confined area, and which help distinguish neighborhoods from each other.

There are some examples of smaller, vertical, rectangular windows in the area, but they are not found in numbers exceeding regularly sized windows on side elevations, so their use here should be proportionate. The historic square windows mentioned above might be a possible alternative, but their placing is historically toward the middle or rear of side walls and they are grouped with several full size windows.

Door: There do not seem to be many historic doors left on this block or street, which is one of the shortest streets within the district boundaries. The door proposed is a 4 light over two panel door. Typically doors matched window pane configurations, so if a vertical three-pane window pattern is used then a vertical three-pane over two panel door would be more consistent with the house itself, but this is generally compatible with the area.

Siding: Smooth horizontal vinyl siding will be used, which is visually compatible with the wood sided houses in the district. The gable will feature vinyl “wood shake” to mimic some wood shake siding found on the street and the block to the south.

Porch: The front porch has a hip roof and three square columns, with a vertical 2” square wood picket railing and wood front steps. This is compatible with what would have been original on nearby buildings that have endured some alterations.

Foundation: The foundation proposed is stuccoed masonry or painted smooth concrete block. There are some examples of both on foundations of historic buildings in the area.

Trim: The trim includes corner boards, a skirt board, and a belt course separating the siding from the gable. Trim around the windows will be a brick mold, which appears to be about three inches wide. A small lintel board is shown on the drawings above the window trim. These trim details are generally consistent with historic buildings.

DRIVEWAYS/PARKING

New driveways or parking areas located in the front or the secondary front yard setback are to be no wider than 10' as measured with a straight line running parallel to the street from which access is gained.

The current city ordinance (see below) allows for 12' wide driveways in historic districts.

The driveway will need to be a minimum of 32' deep in order to accommodate two off-

street parking spaces. Two options have been supplied for the driveway on an attached diagram, option A and B. An existing curb cut is almost centrally located on the lot, with a mature City tree to the left of the curb cut. The proposed Option A has the driveway curving to the left of the house from the cut, which is preferable to Option B, which is much wider than what is allowed and places parking directly in front of the house.

Driveways and Parking:

City Ordinance 17-674(f) Criteria for review of driveways and vehicular parking areas.

The DDRC or its staff, in their review of all construction or alteration of driveways or other vehicular parking areas in residentially zoned DP districts located in the front or secondary front yard, shall use criteria which includes, but is not limited to the following:

(1) Unless a showing of extraordinary and exceptional conditions pertaining to the piece of property can be shown, the amount of allowable area paved for the use of a driveway or a vehicular parking area shall be limited to a width of twelve (12) feet measured with a straight line that runs parallel to the front or secondary front lot line.

No dimensions have been provided but staff will review a site plan before issuing a final approval. Due to the existing curb cut and existing City trees the driveway may have to curve, but staff can contact City Forestry to determine if the trees are healthy. If they are and a relocated curb cut would compromise the trees then Option A by the applicant is a closer match to this ordinance.

(2) The designated vehicular parking area or driveway shall be placed so as to minimize its visual impact on the primary structure.

Option A is not ideal in that the driveway is entering the lot directly in front of the house, but if the current curb cut needs to remain then it is preferable to Option B.

(3) Driveways and vehicular parking areas shall be compatible with the existing building and the site and setting of the historic district, taking into account the level of designation. Appropriate materials are:

a. Protection area: Brick pavers, concrete pavers, granite, concrete, asphalt, sand, gravel, or crushed stone.

The material has not been finalized, but staff can work out this detail with the applicant.

b. Architectural conservation district: Brick pavers, granite and concrete

Not applicable.

c. Landmark district and individual landmarks: Brick pavers, granite and concrete are appropriate. For individual landmarks, other materials may be approved by the Commission after a finding of fact that the materials in question are historically correct for the subject property.

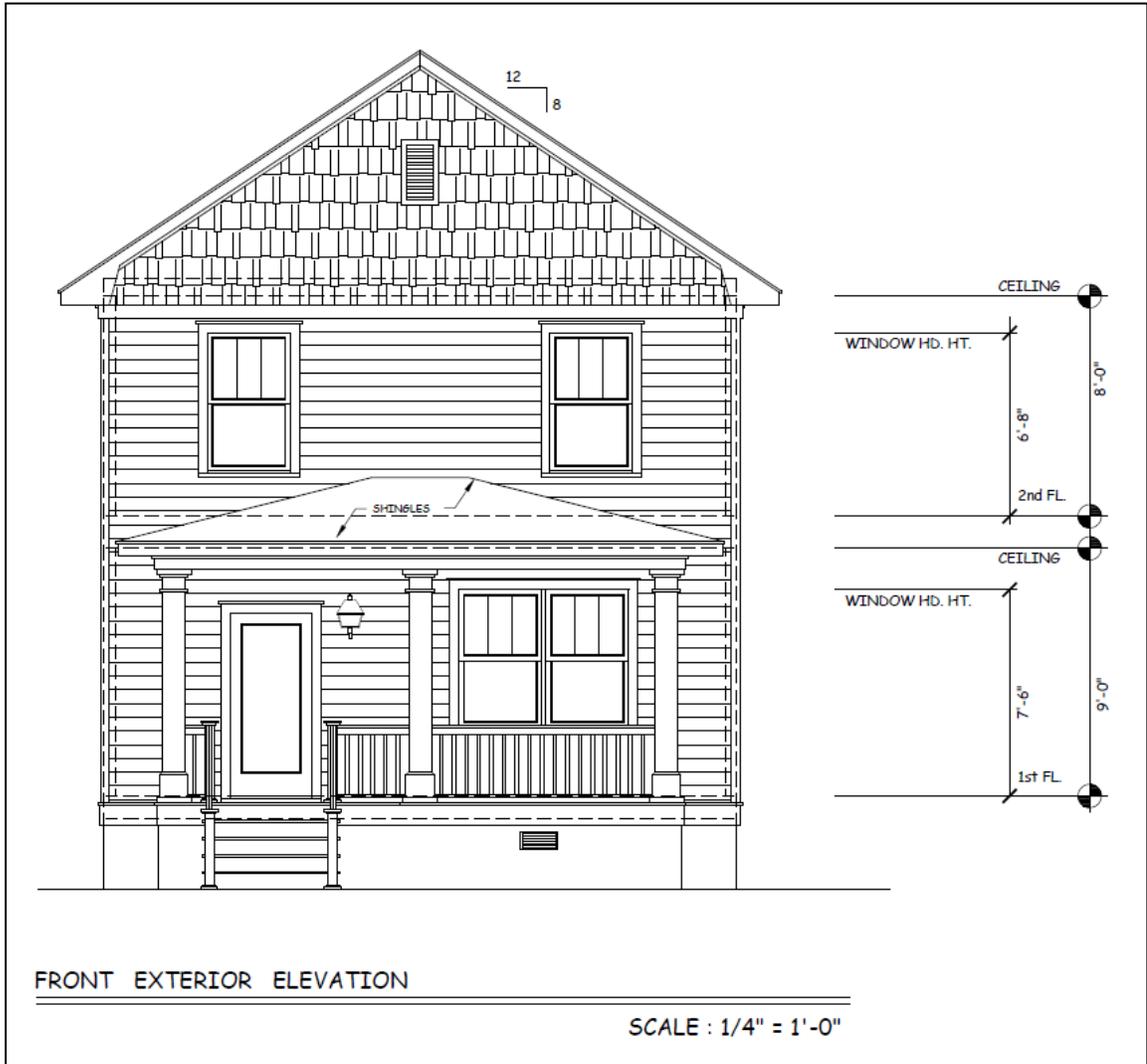
Not applicable.

STAFF RECOMMENDATIONS:

Staff finds that the proposal has some elements that comply with Section 4-A: Guidelines for New Construction of the guidelines and Section 17-674(f) of the City Ordinance and **recommends granting a Certificate of Design Approval** for a new single-family residence at 2207 College Street with the following conditions:

- Setback of the house shall be in line with adjacent houses
- The fenestration on the left side elevation shall be revised to include one additional full-size window near the front on the second floor, and replacement of the diamond window with a

- full-size rectangular window on the first floor that is compatible with historic buildings, and with a consistent 3/1 pane configuration throughout
- The fenestration on the right side elevation shall be revised to remove the transom window on the second floor and the wide horizontal three-lite window on the first floor; that two full size, vertical, rectangular windows will be added on the first floor in an appearance and pattern consistent with historic buildings
 - That any accent window must be square, not a diamond, and placed within a wall on a story that has at least two full size vertically oriented rectangular windows, and that it should be toward the middle or rear of the wall to follow historic patterns
 - That the driveway design first attempt to meet the city ordinance with a straight driveway and curb cut but if City Forestry staff determine the trees should stay then Option A of the submitted driveway will be used, with further details about width, length and materials worked out with staff
 - All details deferred to staff.



Above: Plan of façade, full plans are also included Below: Google view of lot





Historic house to the west, note symmetrical bays on façade and side elevation





Historic house to east of project, below is survey photo from 1993





Two-story houses found in the historic district, most are one or two blocks away

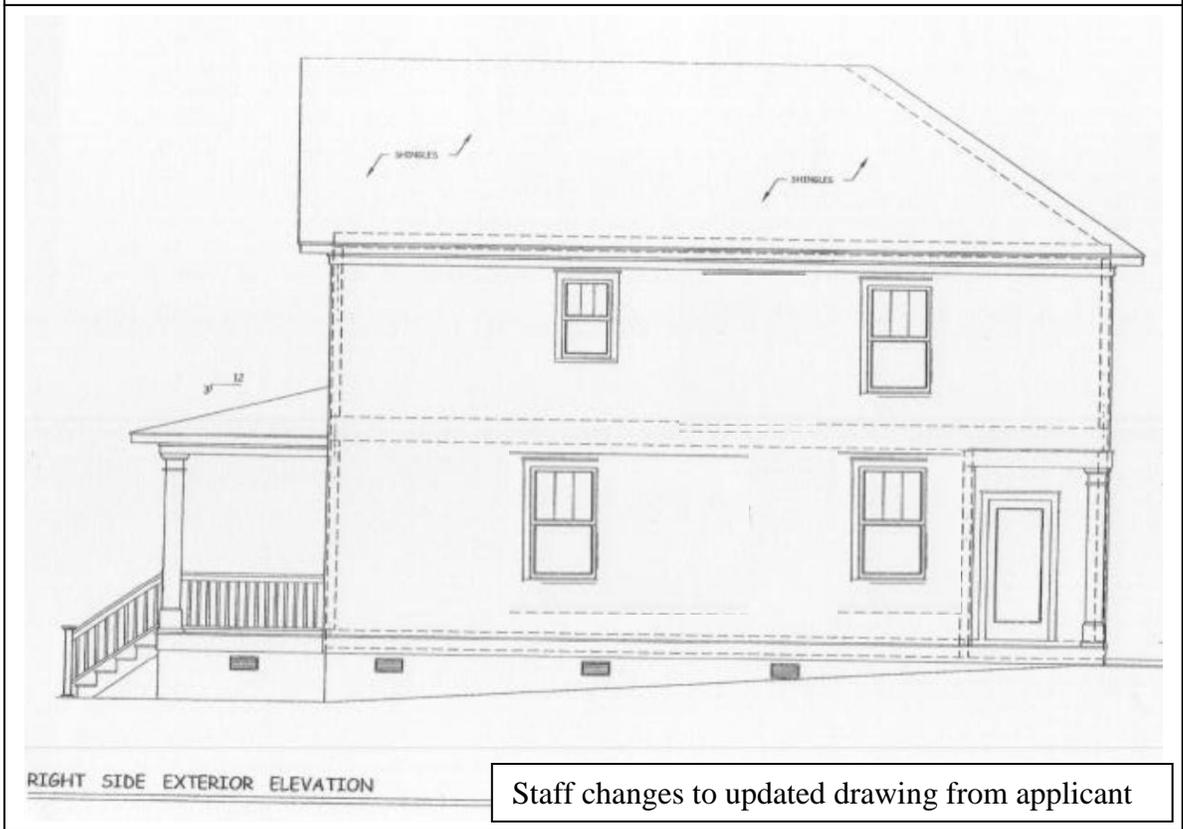
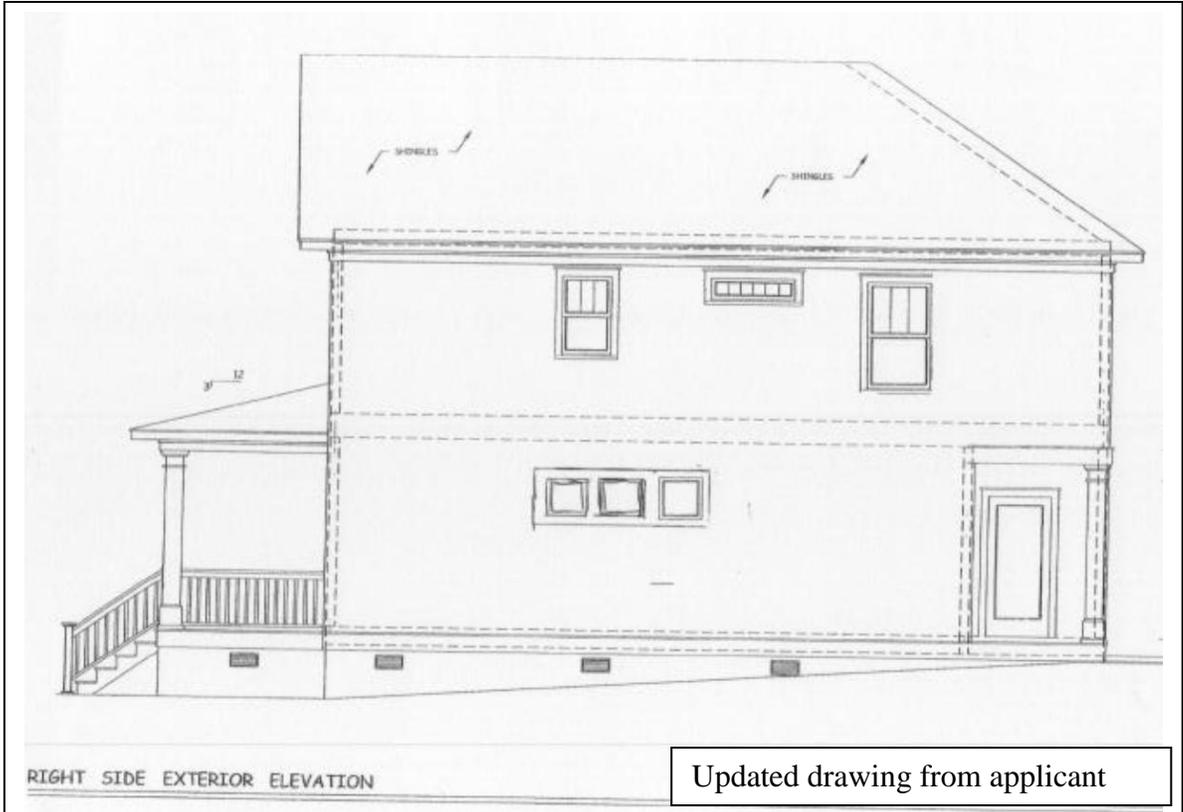


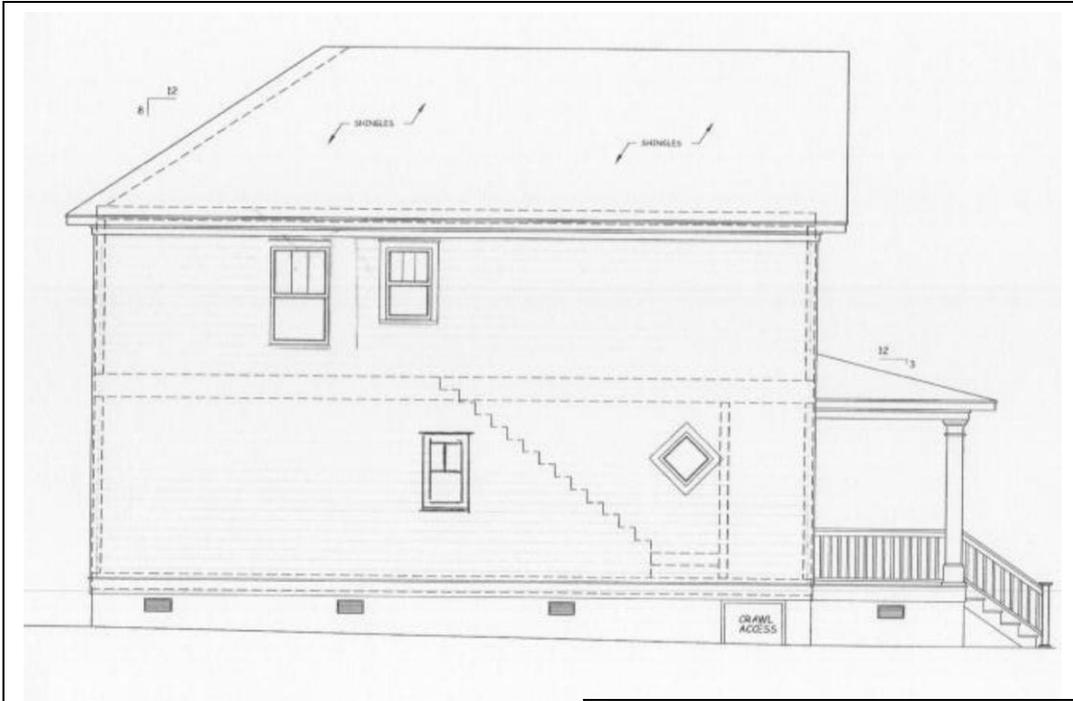
Some houses on Greene St. have small windows, square shaped, but wall is dominated by normal sized windows or the window is an accent within an architectural feature



Houses across the street







LEFT SIDE EXTERIOR ELEVATION

Updated drawing from applicant



LEFT SIDE EXTERIOR ELEVATION

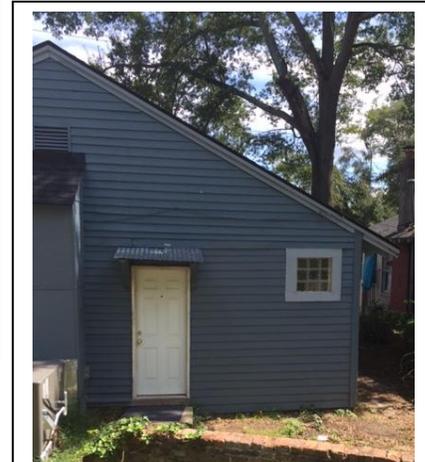
Staff changes to updated drawing from applicant

Examples provided by applicant of foundation and windows in the area to support request for transom and diamond window; comments by Staff are below the photographs



Examples of painted concrete block foundations

Square window, not on same street, perhaps on rear wall?



Glass block window is a later alteration to an addition

Transom type window in dormer is unique to size and location; this is not found on a side wall

Not original, trim and glass block do not match house



Is not dominant on the wall

Appears to be new, trim does not match, glass block used

Information Submitted By Applicant

Photos of Site
Photos of Nearby Buildings
Door
Window



RIGHT SIDE PROPERTY PIN.



LEFT SIDE PROPERTY PIN.



Front elevation of 2209 College street



Front elevation of 2205 College street



2209 College street left side of home facing our lot



2205 College street right side of home facing our lot

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Dimensional Data

Available Options:

Flush Glazed (?)

Glass: Clear

Low-E Available (?)

Finish Options:

Stainable Paintable

Accessories:

Dentil Shelves

Installation:

Installation Instructions



Pick a Door Style: 5 Available Styles



Pick a Glass Style: 5 Available Styles



Chord



Chinchilla



Rainglass



Granite



Clear

Add Left Sidelite: 4 Available Styles

Add Right Sidelite: 4 Available Styles

Add Transom: 2 Available [About Transoms \(?\)](#)

Styles

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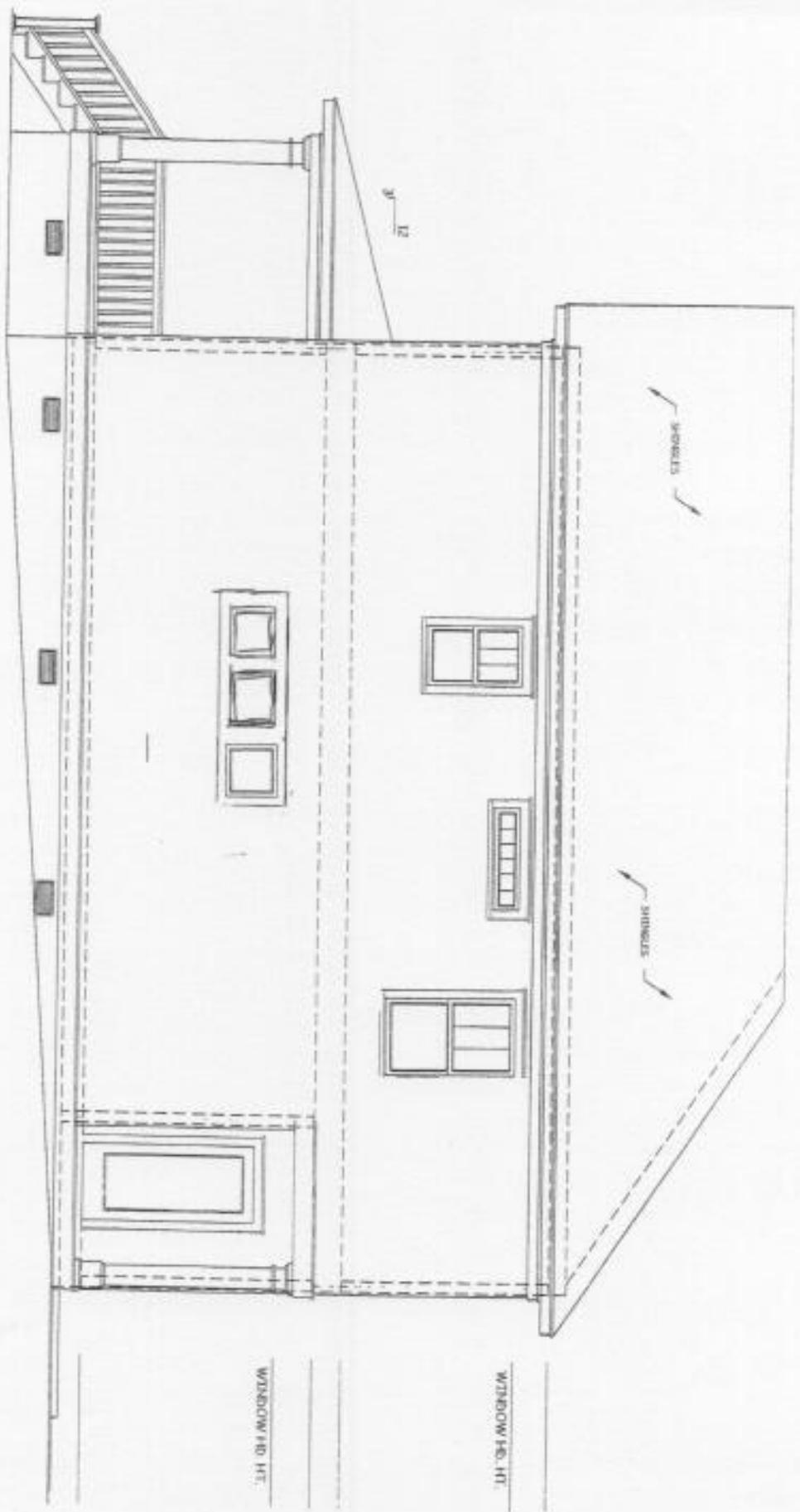
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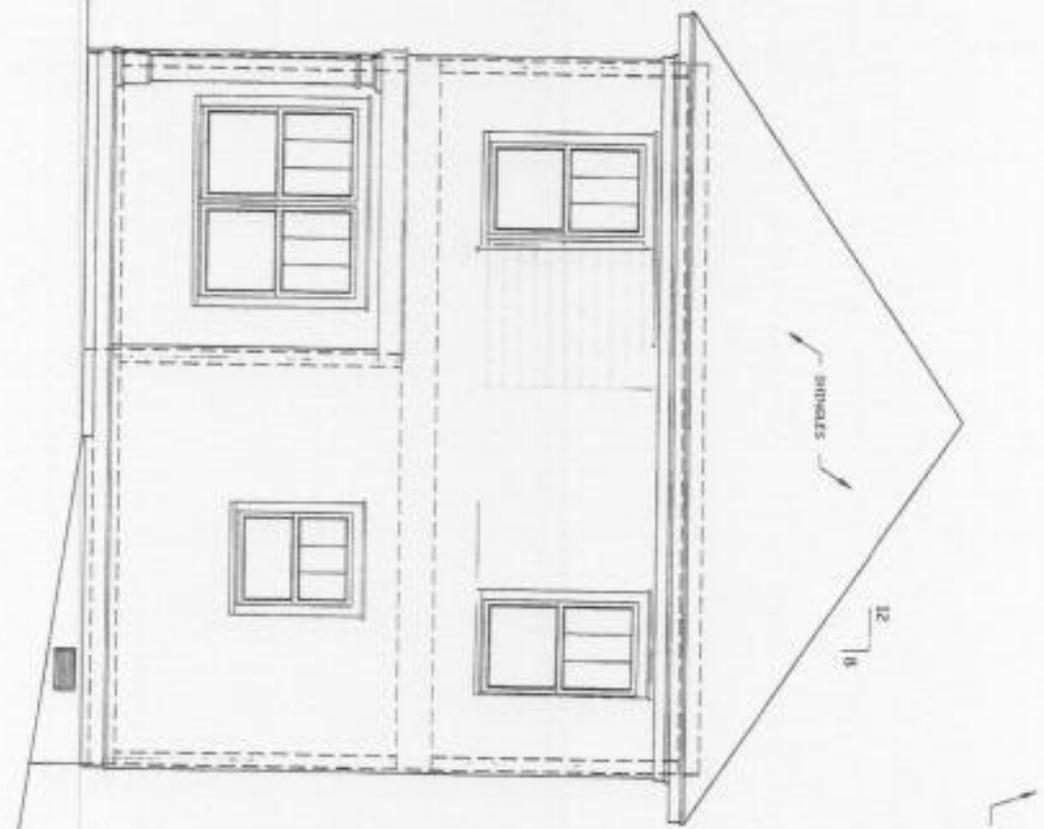


RIGHT SIDE EXTERIOR ELEVATION

SCA

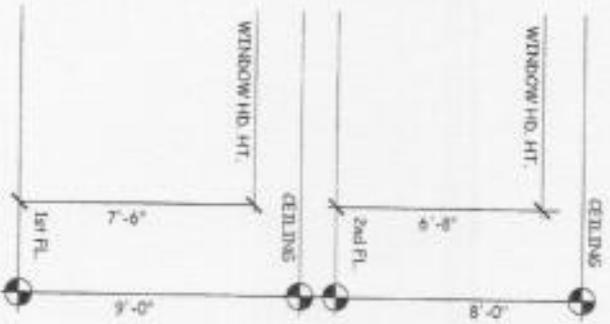
FRONT EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"



FOUNDATION VENT (TYPICAL)

LEFT SIDE



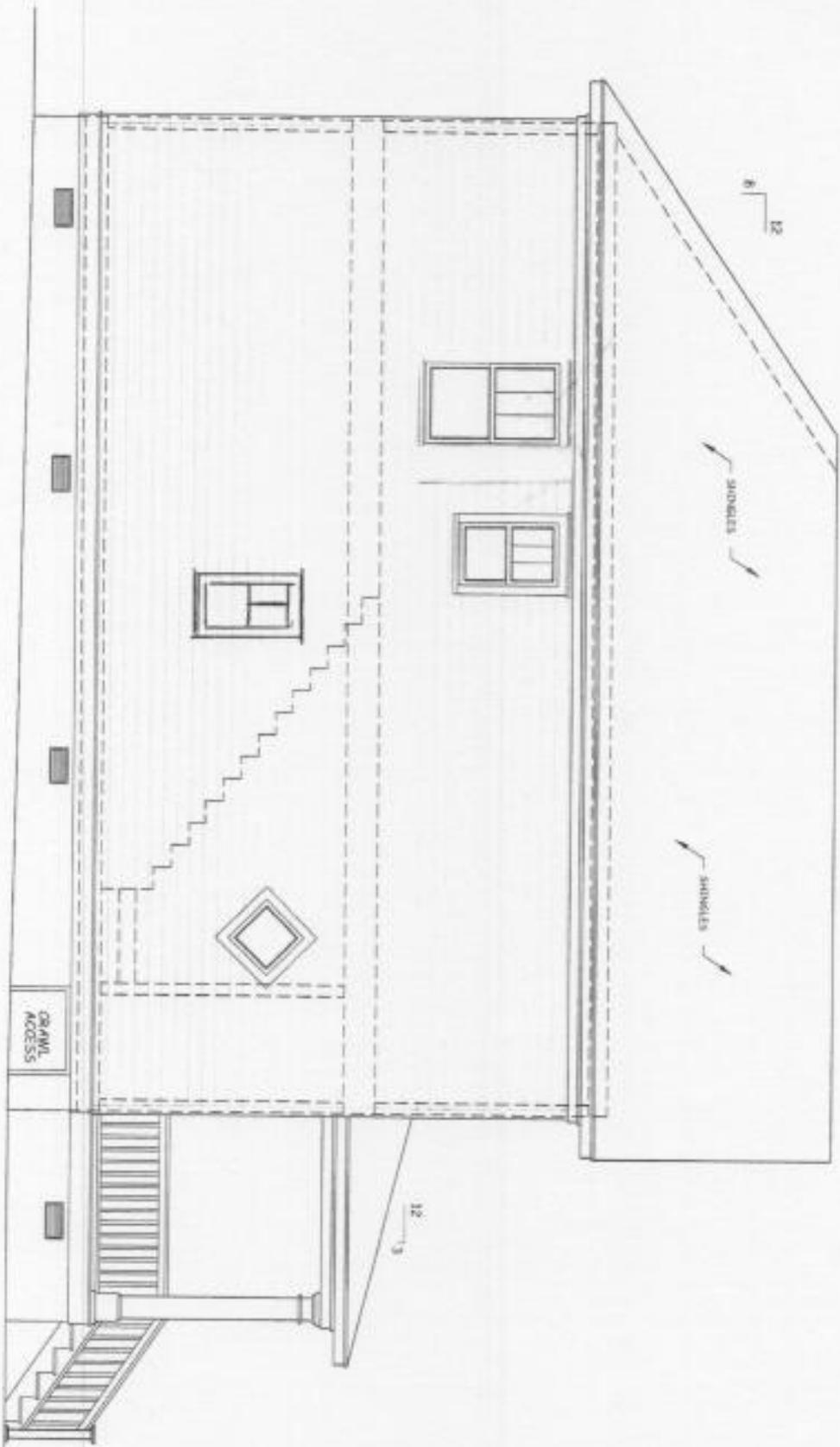
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REAR EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"

RIGHT SIDE



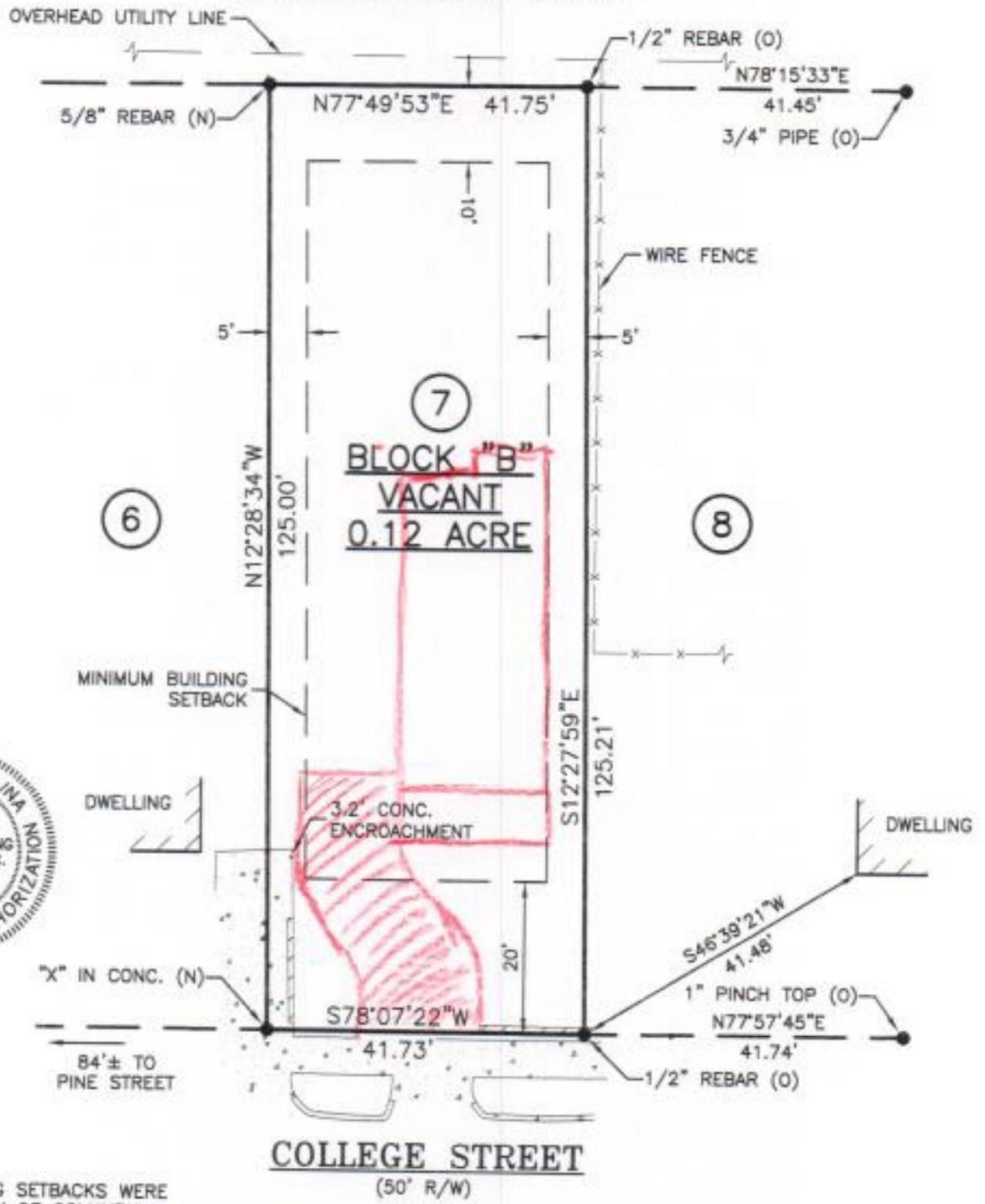


WINDOW HD. HT.

WINDOW HD. HT.

LEFT SIDE EXTERIOR ELEVATION

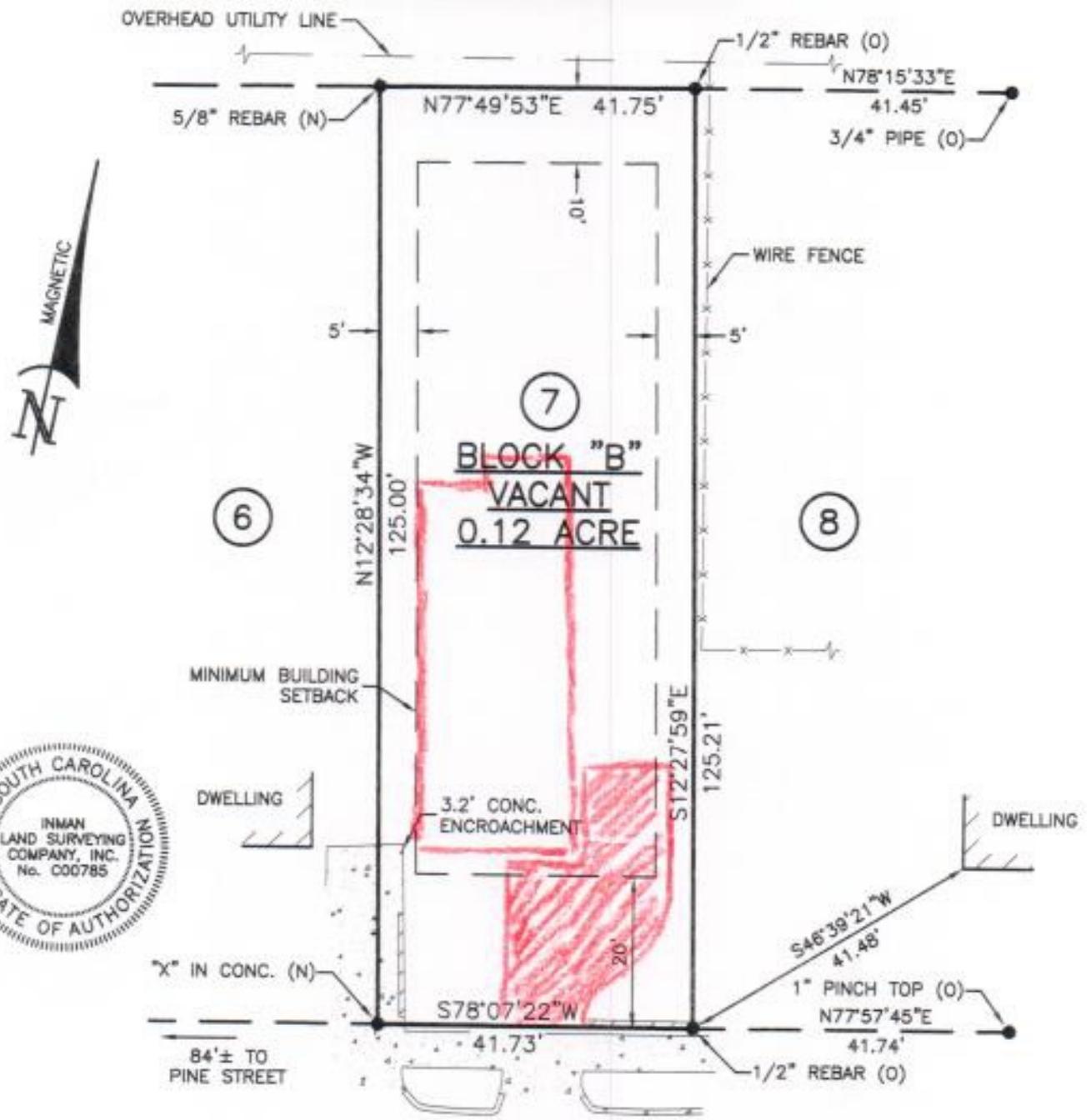
FORMER ALLEY IS NOW CLOSED



MINIMUM BUILDING SETBACKS WERE PROVIDED BY CITY OF COLUMBIA ZONING OFFICE.

Proposed driveway position. (A)

FORMER ALLEY IS NOW CLOSED



MINIMUM BUILDING SETBACKS WERE PROVIDED BY CITY OF COLUMBIA

COLLEGE STREET
(50' R/W)

Proposed driveway position (B)

SAMPLE OF MATERIALS AND COLOR PALLET

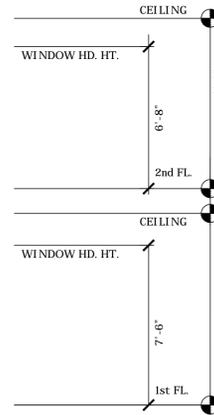


Sample of the color pallet for the house proposed on 2207 College street.

Vinyl siding with vinyl shakes in the gables

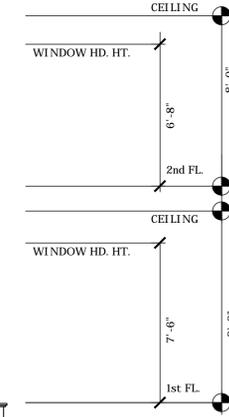
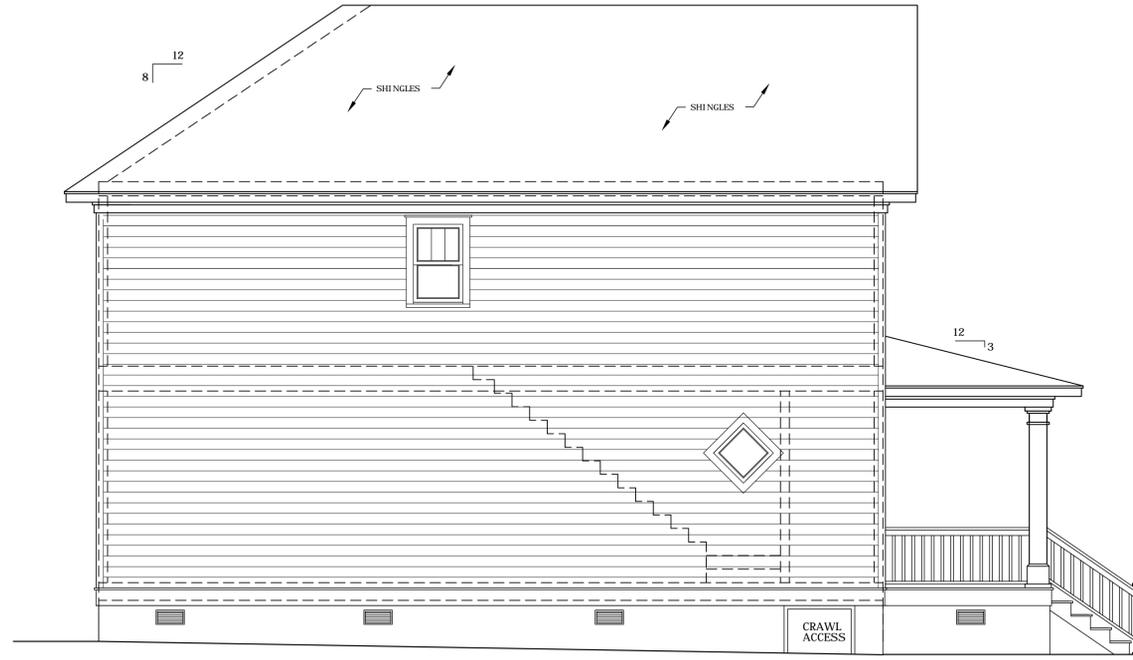
Painted wood columns with wood handrails and steps.

Foundation block will be "split faced block"



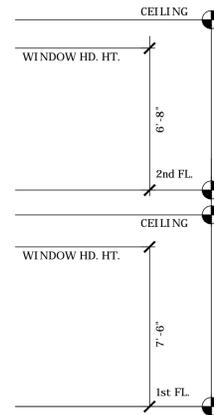
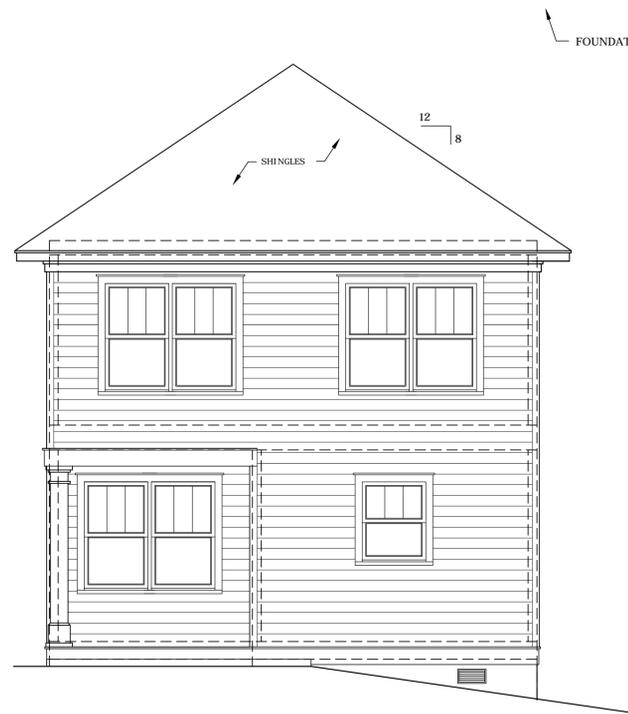
FRONT EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"



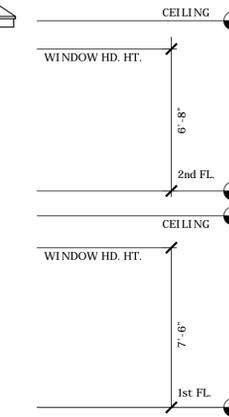
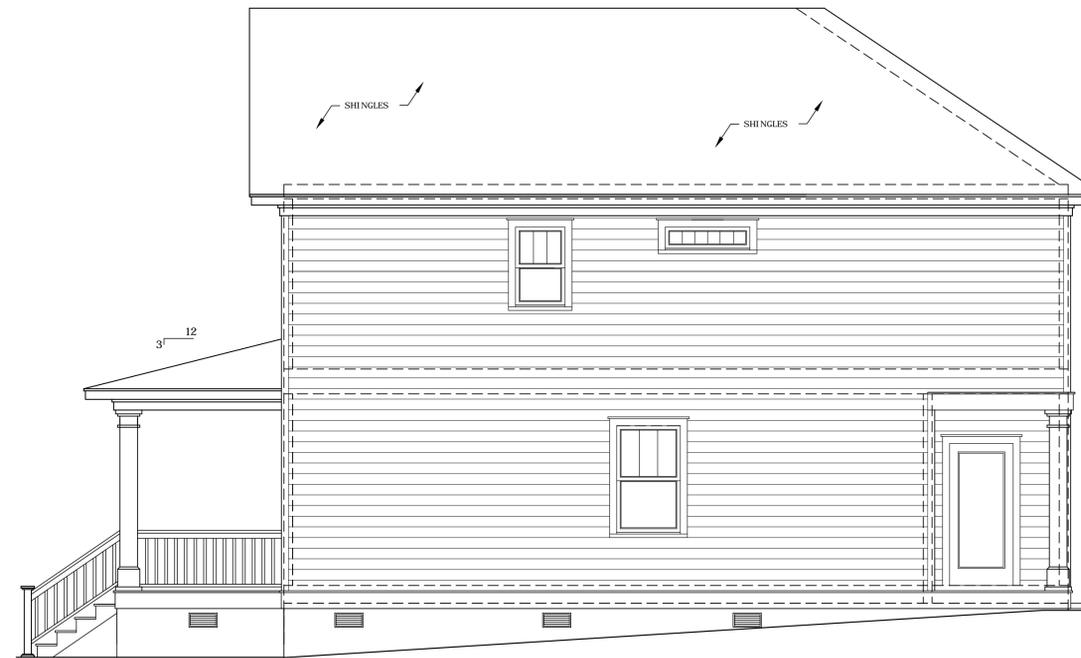
LEFT SIDE EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"



REAR EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"



RIGHT SIDE EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"

DATE:
AUG. 8, 2016

PROJECT NO:
2016-52

REVISIONS :

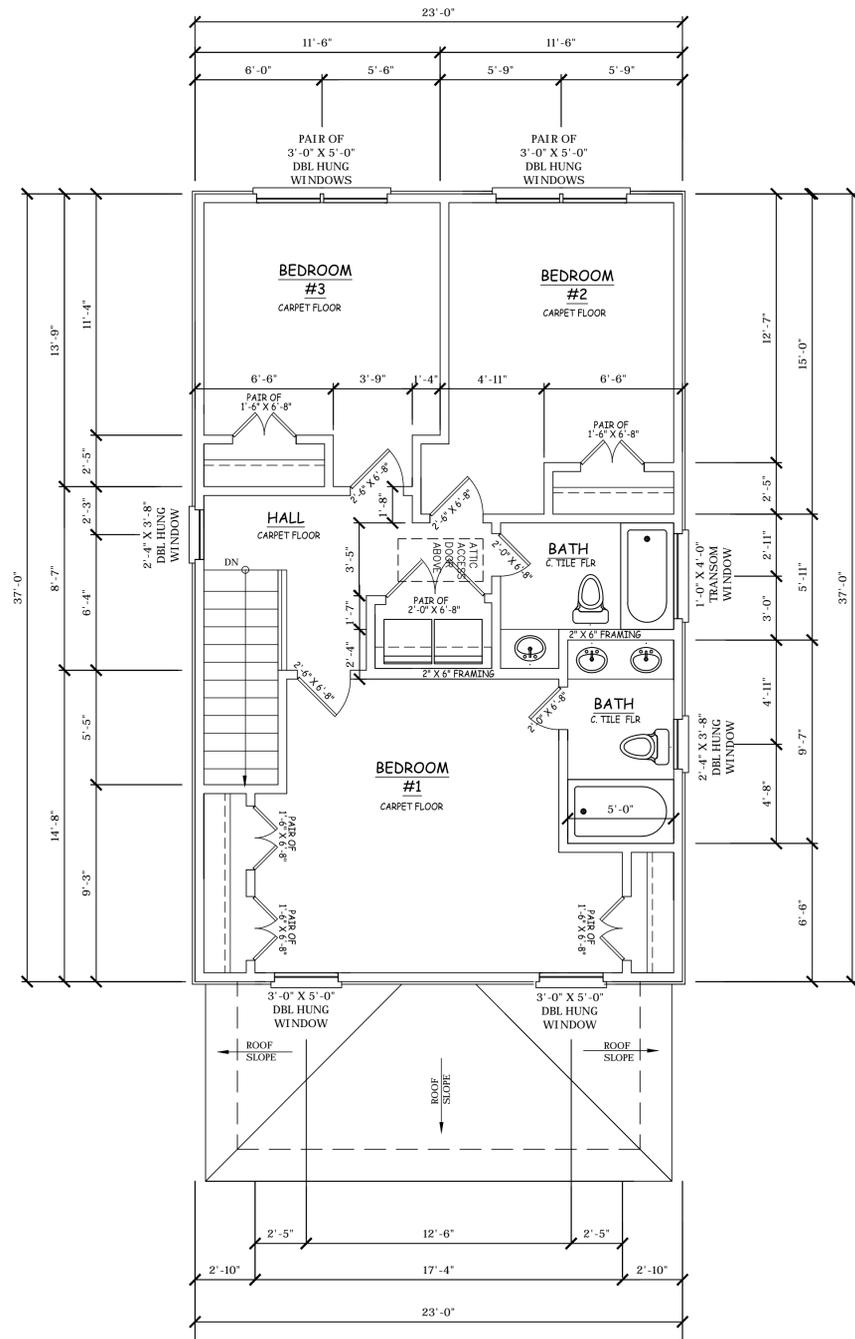
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PROJECT : CELTIC WORKS
2207 COLLEGE STREET
COLUMBIA, SOUTH CAROLINA
EXTERIOR ELEVATIONS

SHEET NO.

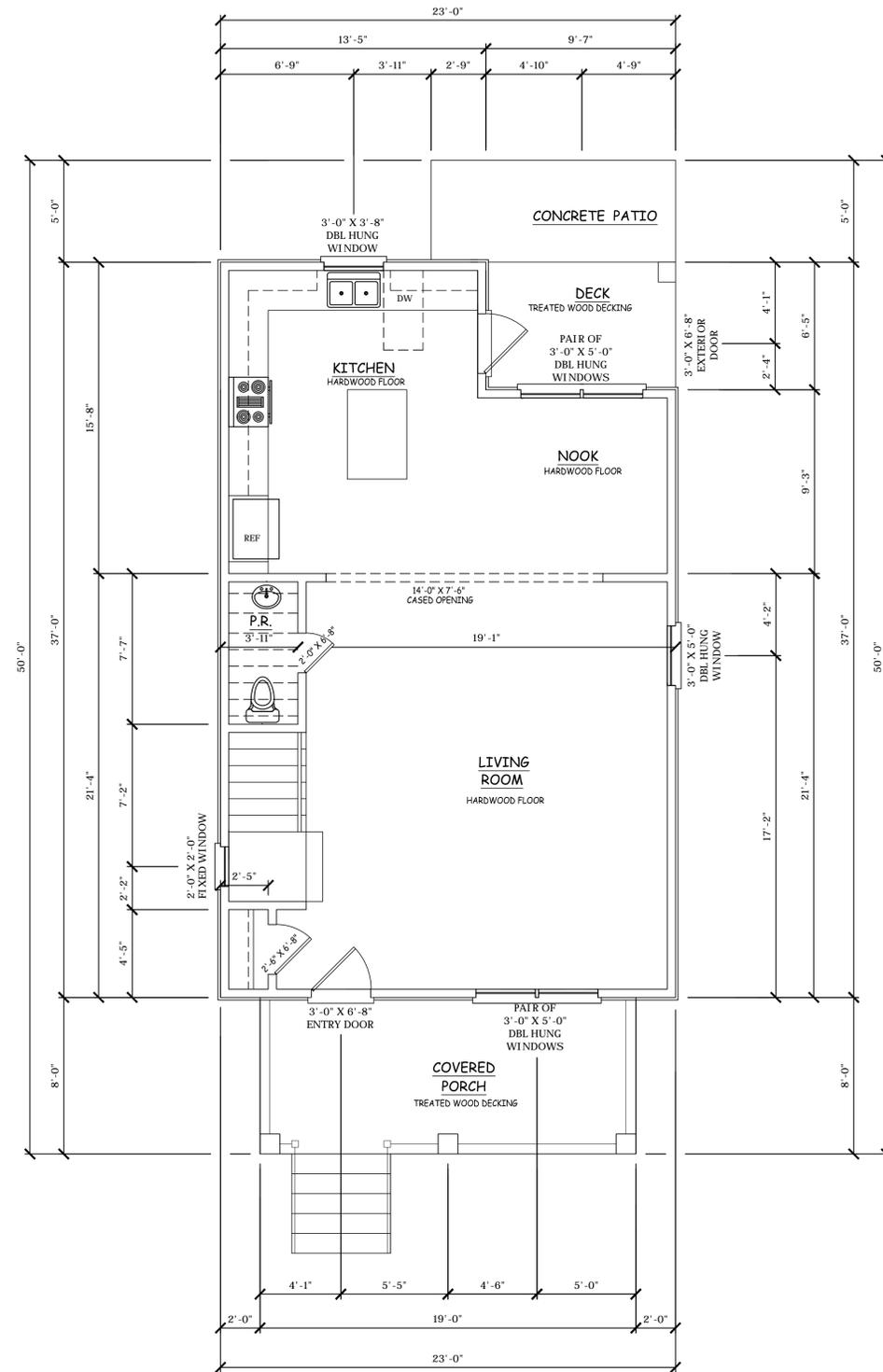
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2207 College Street Columbia, South Carolina



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

DATE:
AUG. 8, 2016

PROJECT NO:
2016-52

REVISIONS:

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PROJECT: CELTIC WORKS
2207 COLLEGE STREET
COLUMBIA, SOUTH CAROLINA
FIRST & SECOND FLOOR PLANS

SHEET NO.

A.1