



D/DRC Case

1519 Sumter Street

City Center/Design Development District/National Register District

TMS: 09014-09-07

DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case # 2

ADDRESS: 1519 Sumter Street

APPLICANT: Robert Lewis, agent

TAX MAP REFERENCE: TMS#09014-09-07

USE OF PROPERTY: Commercial

REVIEW DISTRICT: Bailey Bill Ordinance

NATURE OF REQUEST: Request Certificate of Design Approval for Preliminary Certification for the Bailey Bill

FINDINGS/COMMENTS:

This is the Delco Light Building, completed in 1921 with a brick and terra cotta façade. It was used by a variety of tenants and owners over the years and by December of 1921 began a multi-decade career housing auto sales and service businesses. It also featured a convention hall on the second floor. It was home to the Powell Furniture Company for many years starting in 1960. It is listed as a contributing building to the Main Street district in the National Register of Historic Places and is therefore eligible for the Bailey Bill.

This building is a surviving remnant of the 1920s transition of Sumter Street from residential to commercial. For blocks in each direction, north and south, the street is devoid of many examples of this era, so this building serves as a good example of the period and has a high degree of integrity. While the windows and storefront on the façade have been replaced, the brick and terra cotta is intact. The window openings on the south side have been bricked in and a long carport built on the north side has been removed, leaving noticeable joist pockets in the brick exterior. Likely the carport was part of the auto sales and service business like Jenkins Auto and Wilson Motors, which operated here in the 1920s through 1940s.

The current proposal is a renovation of the building to include several changes to the exterior. Restoration efforts will involve removing the paint from the building to reveal the original cream-colored brick that wrapped around one bay to the south wall but not on the north wall. The terra cotta and other trim will be cleaned and reattached if necessary. Other eligible expenses include roof repairs and roof drainage. Renovation to the façade include the installation of aluminum-clad 2/1 windows and installation of a new storefront. Changes to the south side include reopening most of the window openings and installing aluminum-clad wood windows and brick molding and bricking up openings in the right bay of the first floor. Changes to the north side include punching in new openings for windows and doors that have no precedent on this elevation. There is no evidence that windows existed and no documentation provided for their existence.

PERTINENT SECTIONS FROM GUIDELINES

Sec. 17-698. - Eligible rehabilitation.

(a) Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

(1) The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.

Façade: The historic features that remain will be retained and restored.

South Elevation: A majority of the historic window openings, which have been bricked in, will be reopened. The storefront of the building wraps to the south elevation for one bay, as indicated by the continuation of the textured cream brick (now painted). There is a storefront opening in the bay, closest to the façade, which still exists. The proposal is to brick up this opening. This would remove a historic feature and does not meet this ordinance.

North Elevation: The historic character of this elevation is that it retained a long blank brick wall with very few openings. Perhaps the thought at the time of its construction was that a new commercial building would abut that side of the structure, but that did not occur. The proposal is to install eight new window openings and windows in the second floor and a new large doorway with sidelights in the far right bay of this elevation. While these new openings alter the integrity of the original design, they are somewhat minimal in proportion to the large wall and mimic some of the patterns found on the south elevation. This alteration would not infringe on any existing architectural features or rhythms of openings that characterize the property.

(2) Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.

The window and door openings that are new on the building should be distinguished from original openings so that they do not appear original. Surprisingly, a majority of the historic window openings on the south side do not feature a soldier brick course as a lintel and no evidence exists of the sill treatment. Staff can work on a design feature to make the new window openings distinctive.

(3) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

No changes on this building have acquired historic significance. The current “Powell Furniture” sign on the second story of the north elevation is not historic and is not consistent with the period the building is being returned to, which is from 1921. Powell Furniture was not in this building until 1960 and the current painted sign is not the sign on the building during the 1960s. As the new tenant is not going to be Powell Furniture this sign or name cannot be reattached or painted onto the building as proposed.

(4) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

The exterior brick and terra cotta will be retained, cleaned and repaired.

(5) Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

If no historic windows are found in the original openings that have been bricked in, and which could be repaired (determination by staff), then new aluminum-clad windows are proposed. The proposed pattern of 2/1 is not consistent with the historic windows and does not meet this ordinance. A 6/1 pattern would be consistent.

The loss of the entire storefront necessitates a reconstruction of this feature. The proposed storefront does not match the original in “design, color, texture, and other visual qualities” and therefore does not meet this ordinance, as it appears to be a modern metal framed system that simply replicates the non-historic system already in place. The historic storefront is featured in images located by staff and this pictorial evidence should be used to generate a storefront design that is much closer to the original appearance, which appeared to use a grid of prismatic glass atop large plate glass windows on a low bulkhead, possibly with a recessed entry. Staff can work with the applicant to work out a more appropriate proposal to meet this ordinance.

(6) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposal is to use a Peel Away chemical product on the brick; this product is usually gentle enough to be used on brick exteriors. No sandblasting or abrasive methods are proposed. Light powerwashing may be used if it shown to not damage the historic brick.

(7) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.

South Elevation: There are a few exterior alterations proposed for this elevation, some are located near the rear in the concrete block addition and will not be highly visible to the public right of way. Closer to the front of the building a new door opening with a flat metal door is proposed. This will necessitate the loss of a minor amount of exterior brick; this brick should be salvaged for repairs to other parts of the building. The minor size of this pedestrian door is compatible with the building. A nearby pedestrian door that is closer to the façade will be bricked in; this is not an original opening and its infill will be an improvement for the historic appearance.

North elevation: The proposal is to install eight new window openings and windows in the second floor and a new large doorway with sidelights in the far right bay of this elevation. These new openings are fairly minimal and will remove some original historic material but a majority of the elevation will be kept intact. The window openings need some detailing so that they are clearly not seen as original openings; the doorway’s size and shape lends itself to that distinction. A metal canopy over the doorway is also proposed but would clearly be distinctive as a modern feature. These items are generally compatible with the other architectural features of the building.

Façade: As indicated above the current proposal for an altered storefront does not meet a previous ordinance requirement to return to an original appearance.

Roof: New skylights are proposed. These should be no more visible to the public right of way than the current skylights in order to stay in keeping with scale and massing of the building's current skylights.

(8) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The only new addition is the canopy and it appears that it is designed in such a way that it could be removed without impairing the original building.

(b) Work to be reviewed. The following work will be reviewed according to the standards set forth above:

(1) Repairs to the exterior of the designated building.

Already delineated above.

(2) Alterations to the exterior of the designated building.

Already delineated above.

(3) New construction on the property on which the building is located.

Not applicable.

(4) Alterations to interior primary public spaces.

It does not seem that original interior public spaces are extant.

(5) Any remaining work where the expenditures for such work are being used to satisfy the minimum expenditures for rehabilitation.

The above items are the parameters for review for projects that receive the Bailey Bill. If any future work is proposed beyond the scope of what is presented here then it will be reviewed.

STAFF RECOMMENDATIONS:

Staff finds that the project generally complies with Sec. 17-698 of the City Ordinance and recommends preliminary certification for the Bailey Bill with the following conditions:

- the project meeting or exceeding the 20% investment threshold requirements for qualified rehabilitation expenses
- All work meeting the standards for work as outlined in Section 17-698
- The storefront details match the historic appearance
- The storefront opening on the south elevation at the corner to be retained and treated as storefront
- The new windows on the north elevation to be distinguished as new openings, with details worked out with staff
- Windows to be changed to a 6/1 pattern, with exterior muntins and detailing matching historic windows
- No painted sign for Powell Furniture to be placed on the building
- New skylights should not be more visible to the public right of way
- All details deferred to staff

Staff recommends a Certificate of Design Approval for the project as proposed based on its conformance with Sec. 17-698 of the City Ordinance, with all details deferred to staff.



Photo by Blanchard.
Delco Light building, just erected by the Home Light & Power company of South Carolina, distributors for Delco Light products in the states of North and South Carolina. The building is on Sumter street.
Delco Light products are manufactured by the Delco Light company of Dayton, Ohio.
The building is modern in every respect and among other things includes a convention hall.

Left: 1921 image from The State

Below: 1970s image from City of Columbia files, Grenville Seibels



ANNOUNCING
OPENING OF
COLUMBIA BRANCH
—OF—
ANDERSON MOTOR CO.

ANDERSON
"COACH-BILT" **6**

CARRYING COMPLETE
AND INSTANTANEOUS COLUMBIA SERVICE
FROM A NUT OR BOLT UP
AND YOU GET IT
RIGHT NOW!

THESE
NEW
1922
PRICES
ARE ALL
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COLUMBIA

WITH WAR TAX
INCLUDED
THE ANDERSON
IS A NATIONALLY
KNOWN SOUTH
CAROLINA PRODUCT
NOT AN EXPERIMENT
BUT A SUCCESS
WITH MANY YEARS
BEHIND IT
NO HEAVY WESTERN
FREIGHT RATES
TO PAY AND
YOUR MONEY
REMAINS AT HOME

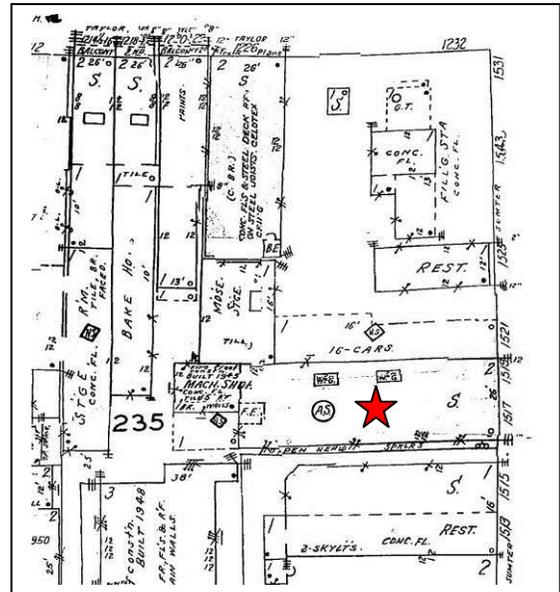
BEHIND THE BIG, NEW ANDERSON PLANT AT
TUCKER HILL LIES A THIRD OF A CENTURY
OF FINE COACH MAKING

ANDERSON MOTOR CO.
COLUMBIA SALES AGENCY
W. H. McCaw, Manager, 1519 Sumter Street

CALL ON US OR WRITE US FOR COMPLETE IN-
FORMATION AND SPECIFICATIONS

ANDERSON MOTOR CO.
COLUMBIA SALES AGENCY
W. H. McCaw, Manager, 1519 Sumter Street

1921 ad from *The State* for car company at 1519 Sumter St.



1950 Sanborn map, showing carport on north side of building



Left: 1955 image of south side of building (Russell Maxey, Richland Library)

Below: 1966 image of north side of building (Russell Maxey, Richland Library)



Information Provided by Applicant

2. HISTORIC DESIGNATION

OVERVIEW OF BUILDING HISTORY

The Powell Furniture building at 1519 Sumter Street was constructed around 1929. Sanborn maps dating between 1888 and 1919 indicate that the 1500 block of Sumter Street contained mostly frame structures until 1919, at which time it had gained a two-story brick structure at the southeast corner. Prior to construction of the Powell Furniture building, the lot contained frame dwelling structures.

The Powell Furniture building was designed in the classical revival style. It first housed the Home Light and Power Company, and later housed the Delco Light and Power Company. By the time of its construction in 1929, the building at 1519 Sumter Street was one of many masonry buildings in the 1500 block bounded by Main, Taylor, Sumter, and Hampton Streets. Most of these masonry buildings fronted on Main Street, however, with a few exceptions on Taylor and Hampton Streets. Powell Furniture began its tenure of the building at 1519 Sumter Street in 1960. Cambridge Investment Company acquired the building in 1968.

Terra cotta ornament in the building's parapet, cornice, and second level windows is clearly visible in photos taken in 1977. An illuminated sign reading "Powell Furniture" was then affixed to the center of the building, between the center windows in the second level. Terra cotta around the building's first level storefront system had been painted, however. "Powell Furniture Company" was painted in the transom windows in this first level storefront, further obscuring the terra cotta ornament. Vinyl dimensional lettering spelling "Powell Furniture" has since replaced this earlier painted lettering.

A March 2002 fire in the alley behind the building – to the west – damaged the loading door at the building's southwest corner. Sumter LLC purchased the building from Cambridge Investment Company November 18, 2005 for \$600,000.00.

5. DESCRIPTION OF PROPOSED WORK

Feature number	1		
Architectural feature	Storefront	Approximate date of feature	c. 1929
Description of existing feature and its condition			
<p>The existing main entry to the building is in the east elevation. Entry is a glass storefront system of windows and doors typical of early to mid-20th century commercial buildings.</p>			
Photo numbers	1,2	Drawing numbers	DA4.1, A4.2
Description of work and impact on feature			
<p>The existing storefront system will be removed, to include the glazing and trim. Sills, framing, and flashing will be removed to slab. Rough edges around these openings will be patched and repaired in preparation for a new storefront system.</p>			
Feature number	2		
Architectural feature	Terra cotta trim	Approximate date of feature	c. 1929
Description of existing feature and its condition			
<p>Terra cotta trim surrounds the building's first level storefront entry and the windows in the second level on the east elevation. Terra cotta also adorns the roofline and edge of the parapet wall along the east elevation.</p>			
Photo numbers	3, 4	Drawing numbers	DA4.1, A4.2
Description of work and impact on feature			
<p>Proposed work will test the strength of the terra cotta trim's adherence to the building. If the terra cotta trim is securely fastened to the wall surface, it will be chemically stripped and cleaned in place. If it is not strongly adhered to the wall surface, it will be carefully removed and cleaned of existing paint by chemically stripping. Pieces of terra cotta trim removed from the building will be stored for reuse. Broken trim pieces will be used to create replicas of the original.</p>			
Feature number	3		

Architectural feature	Vinyl dimensional lettering east elevation	Approximate date of feature	c. 1970
Description of existing feature and its condition White vinyl dimensional lettering spells "POWELL FURNITURE" in the transom of the east elevation first level storefront.			
Photo numbers	5	Drawing numbers	DA4.1, A4.2
Description of work and impact on feature Vinyl dimensional lettering will be removed and disposed of.			
Feature number	4		
Architectural feature	East elevation exterior wall paint	Approximate date of feature	c. 1990
Description of existing feature and its condition The brick in the east elevation is painted entirely gray.			
Photo numbers	6	Drawing numbers	DA4.1, A4.2
Description of work and impact on feature Existing paint on masonry, cornice, and parapet well in the building's east elevation will be stripped and removed according to U.S. Department of Interior's Guidelines for Historic Preservation. Paint will be removed from the entire façade of the building.			
Feature number	5		
Architectural feature	Second level windows in east elevation	Approximate date of feature	c. 1929
Description of existing feature and its condition			

Photo numbers	7	Drawing numbers	DA4.1, A4.2
Description of work and impact on feature			
<p>All existing windows in the building's east elevation will be removed. Edges of the resultant rough masonry openings will be repaired. New windows will be aluminum clad wood double hung sash windows with pane configuration 2 over 1. Magnetic sensors in these windows will be wired to the building's security system. These same windows will be used in window openings on the building's north and south elevations as well. Replacement window style, material, profiles and details are to be historically appropriate subject to further research and staff approval.</p>			
Feature number	6		
Architectural feature	Skylight	Approximate date of feature	
Description of existing feature and its condition			
<p>Skylights are visible from the building's east and south elevations.</p>			
Photo numbers	none	Drawing numbers	DA4.1, DA4.2, A1.3
Description of work and impact on feature			
<p>Existing skylight and framing will be removed. The roof will be repaired and the existing framing prepared for addition of new skylight framing. New skylights and a restored light well will pen onto the second floor ceiling below.</p>			
Feature number	7		
Architectural feature	Paint on exterior wall, north elevation	Approximate date of feature	c. 1950s
Description of existing feature and its condition			
<p>The existing north elevation exterior wall is painted a medium gray color. The painted portion of the wall runs from its northeast corner to the center of the wall face. White painted lettering in the top left corner of this face of the building spells "POWELL FURNITURE" in block letters.</p>			

Photo numbers	8, 9	Drawing numbers	DA4.1, A4.1
Description of work and impact on feature			
Letters will be painted directly on the wall to spell "POWELL FURNITURE" in the same location as the earlier painted lettering.			
Feature number	8		
Architectural feature	Second level windows north elevation	Approximate date of feature	c. 1929
Description of existing feature and its condition			
The north elevation contains 8 uniform rectangular windows in its second level. The window in the easternmost bay contains a single soldier course lintel. All windows have been in-filled with masonry.			
Photo numbers	10, 11	Drawing numbers	DA4.1, A4.1
Description of work and impact on feature			
Existing masonry infill in all 8 of the second level windows will be sawn and removed to reopen existing windows. New aluminum clad double hung sash windows with pane configuration 2 over 1 will be installed in existing window openings. Magnetic sensors in these new windows will be wired to the building's security system. Replacement window style, material, profiles and details are to be historically appropriate subject to further research and staff approval.			
Feature number	9		
Architectural feature	First level door north elevation	Approximate date of feature	c. 1929
Description of existing feature and its condition			
The north elevation contains a wide door in the west side of its first level. This door opening has been infilled with masonry and is not presently serving as an opening.			

Photo numbers	12, 13	Drawing numbers	DA4.1, A4.1, A4.2
Description of work and impact on feature			
<p>Existing infill masonry will be sawn and removed to reopen earlier exterior doorway. New insulated, laminated, glass entrance storefront doors with side lights will be installed in this existing doorway. Access through these doors will be provided via card reader and door position switch. A new pre-engineered metal canopy system will be installed above this door. This metal canopy will be visible from the building's east elevation along Sumter Street.</p>			
Feature number	10		
Architectural feature	First level windows south elevation	Approximate date of feature	c. 1929
Description of existing feature and its condition			
<p>The first level of the south elevation contains 10 windows, including 1 storefront window in the southeast corner that is visually similar to the storefront windows in the first level of the building's east elevation. This storefront window has a single soldier course lintel. The two westernmost windows are shorter than the rest. All windows (except the singular storefront window in the southeast corner) have been infilled with brick. None are presently serving as openings to the building.</p>			
Photo numbers	14, 15, 16	Drawing numbers	DA4.2, A4.1
Description of work and impact on feature			
<p>Existing brick infill in the center 6 windows will be removed and salvaged. Resultant rough openings will be repaired and prepared to receive new windows. New windows will be aluminum clad wood double hung sash windows with pane configuration 2 over 1. Magnetic sensors in these windows will be wired to the building's security system. Replacement window style, material, profiles and details are to be historically appropriate subject to further research and staff approval.</p> <p>The 2 westernmost windows will remain infilled.</p> <p>The storefront window, glazing, and trim in the southeast corner will be removed. Rough openings will be patched and repaired. This opening will be infilled with new three wythes of brick.</p> <p>The brick infill in the remaining rectangular window near the building's southeast corner will be removed and salvaged. It will be infilled once more with new three wythes of brick.</p>			
Feature number	11		
Architectural feature	Second level windows	Approximate date of	c. 1929

	south elevation	feature	
Description of existing feature and its condition			
<p>The building's second level contains 9 uniform rectangular windows. The window in the easternmost bay contains a single soldier course lintel. All 9 windows have been infilled with brick and none are presently serving as openings to the building.</p>			
Photo numbers	17, 18, 19	Drawing numbers	DA4.2, A4.1
Description of work and impact on feature			
<p>Existing brick infill will be removed and salvaged in all 9 windows. Resultant rough openings will be repaired and prepared to receive new windows. New windows will be aluminum clad wood double hung sash windows with pane configuration 2 over 1. Magnetic sensors in these windows will be wired to the building's security system. Replacement window style, material, profiles and details are to be historically appropriate subject to further research and staff approval.</p>			
Feature number	12		
Architectural feature	First level doors south elevation	Approximate date of feature	c. 1970s
Description of existing feature and its condition			
<p>The building's south elevation contains two identical narrow door openings that have since been infilled with brick. Neither door is presently serving as an opening to the building.</p>			
Photo numbers	20, 21	Drawing numbers	DA4.2, A4.1
Description of work and impact on feature			
<p>Existing brick infill in both doors will be removed and salvaged. Resultant rough openings will be repaired and prepared to receive a new door. Insulated exterior hollow metal doors and frames will be installed. Access through these doors will be controlled via card reader and door position switch.</p>			
Feature number	13		
Architectural feature	Drainage equipment	Approximate date of	c. 1950s

	south elevation	feature	
Description of existing feature and its condition			
Existing drainage equipment is metal, painted in white. Three downspouts are adhered to the building's exterior brick wall along the south elevation, running from the building's roof to the access road along the south elevation.			
Photo numbers	22, 23	Drawing numbers	DA4.2, A4.1
Description of work and impact on feature			
Existing conductor box, downspout, and brackets will be removed and disposed of. Cut bricks will be infilled with new brick throughout the entire downspout cavity. Existing brick will be sawn to prepare for new through-wall scupper at a new downspout location. The infill and tooth in the new brick will match the existing brick in the downspout cavity. Cavities in the exterior wall created by removal of the existing downspout will be infilled with new three wythes of brick.			
Feature number	14		
Architectural feature	Rear addition south elevation	Approximate date of feature	c. 1950s
Description of existing feature and its condition			
A two-story addition abuts the building's west elevation. This addition contains openings only in its south elevation. The first level of this addition is brick. It contains three bays, with high rectangular windows in the first two bays and a wide roll-up loading door in the last. The windows contain panes 5 over 5 with aluminum casing and mullions. A low loading dock stands at the addition's southeast corner.			
The second level of this addition is constructed of CMU. It contains a singular, square window in the southwest corner.			
Photo numbers	24, 25	Drawing numbers	DA4.2, A4.1
Description of work and impact on feature			
The roll up loading door, its tracks and support framing will be removed. The existing concrete loading dock will be removed. The existing window system and its trim will be removed and the resultant rough openings patched and repaired. The CMU second level will be saw cut for a new rough opening. The existing brick wall in the first level will be removed. The CMU wall above will be shored up and prepared for new load bearing columns and beams.			
Feature number	15		
Architectural feature	Roof	Approximate date of	c. 1929

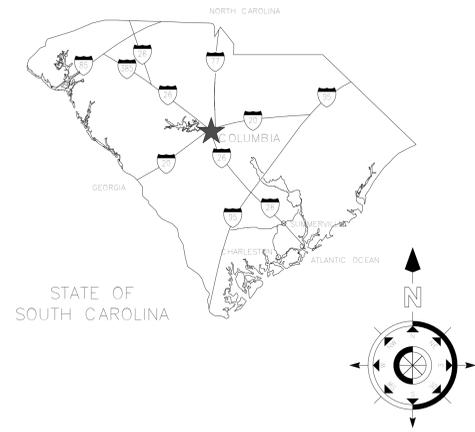
		feature	
Description of existing feature and its condition			
<p>The existing roof is flat and not visible from street level on any side. It is wood framing over wood rafters, and covered in tar and gravel.</p>			
Photo numbers	none	Drawing numbers	DA1.3, A1.3
Description of work and impact on feature			
<p>The existing roofing system and decking will be removed to existing wood rafters. The existing skylight and framing (see item 6) will be removed, and the roof structure shored up to prepare the existing framing for a new skylight. Existing coping along the edges of the roof will be removed and existing masonry will be repaired to receive new blocking and metal coping.</p> <p>The existing roof system in the building's west addition will be removed and the roof deck and steel joints will be repaired as required.</p> <p>The new roof on both the main building and its addition will be kee thermoplastic single ply membrane over ½" cover board fully adhered to 6" of polysio fully adhered to new structural plywood decking. The decking will be fastened to the existing roof rafters.</p>			

POWELL FURNITURE BUILDING

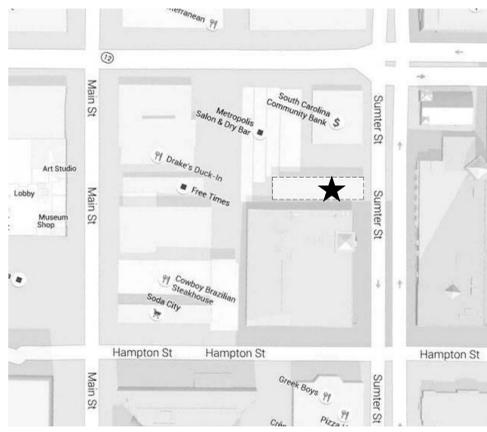
PRELIMINARY SHELL BUILDING 03/15/16

PROJECT NO: P-820-15

STATE LOCATION MAP



VICINITY LOCATION MAP (1519 SUMTER ST., COLUMBIA, SC)



APPLICABLE CODES

- PROJECTS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES**
- INTERNATIONAL BUILDING CODE, 2012 ED.
 - INTERNATIONAL FIRE CODE, 2012 ED.
 - INTERNATIONAL ENERGY CONSERVATION CODE, 2012 ED.
 - INTERNATIONAL FUEL GAS CODE, 2012 ED.
 - INTERNATIONAL MECHANICAL CODE, 2012 ED.
 - INTERNATIONAL PLUMBING CODE, 2012 ED.
 - ICC ELECTRICAL CODE, ADMINISTRATIVE PROVISIONS, 2012 ED WITH THE FOLLOWING INSERTIONS:
 - SECTION 305.4.1, INSERT "18"
 - SECTION 903.1, INSERT "8"
 - INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMPC), 2012 ED.
 - INTERNATIONAL WILDLAND - URBAN INTERFACE CODE (IUIWIC), 2012 ED.
 - INTERNATIONAL CODE COUNCIL PERFORMANCE CODE (ICCPC) 2012, UPON BUILDING OFFICIAL'S APPROVAL.
 - INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPCS), 2012 ED.
 - STANDARD FOR BLEACHERS, FOLDING AND TELESCOPIC SEATING AND GRANDSTANDS, ICC 300-12 ED.
 - NATIONAL ELECTRICAL CODE, NFPA 70, 2011 ED.
 - NATIONAL ELECTRICAL SAFETY CODE, IEEE-C2-2012 ED.
 - LATEST EDITION OF ANSI A117.1, ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES AND AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES. SEE: <http://www.access-board.gov/guidelines-and-standards/buildings-and-sites/about-the-ada-standards/ada-standards>
 - STATE FIRE MARSHAL'S RULES, REGULATIONS AND POLICIES. SEE <http://www.scfiremarshal.com>
 - SOUTH CAROLINA ELEVATOR CODE AND REGULATIONS, LATEST EDITION, INCLUDING REFERENCED AMERICAN SOCIETY OF MECHANICAL ENGINEERS SAFETY CODE FOR ELEVATORS, DUMBWAITERS, ESCALATORS, AND MOVING WALKS, AND SUPPLEMENTS THERETO ASME A17.1. SEE: <http://www.ltr.state.sc.us/Labor/ElevatorAmusement/index.asp?file=burgeo.htm>
 - STATE OF SC TELEPHONE EQUIPMENT ROOM AND COMMUNICATIONS/DATA SYSTEMS POLICIES AS FORMULATED BY THE DIVISION OF STATE INFORMATION TECHNOLOGY (DSIT).
 - GOVERNOR'S EXECUTIVE ORDER NO. 82-19 (APRIL 1982) - STATE OF SC BUILDING STANDARDS IN FLOODPLAN AREAS.

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DA4.2 DEMOLITION ELEVATION
- ARCHITECTURAL
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A4.1 BUILDING ELEVATIONS
A4.2 BUILDING ELEVATIONS

MATERIAL DESIGNATIONS

	COMPACTED EARTH		WOOD (ROUGH)
	POUROUS FILL (STONE OR GRAVEL)		WOOD (FINISHED)
	CONCRETE		PLYWOOD
	CONCRETE MASONRY UNIT		BATT INSULATION
	BRICK		GYPSUM BOARD
	SAND, PLASTER, CEMENT, GROUT		RIGID INSULATION
	STEEL		STONE VENEER

ARCHITECTURAL SYMBOLS

DRAWING TITLE REFERENCE

1 TITLE
SCALE: 1/4" = 1'-0"
WHERE DETAIL IS SHOWN

ROOM TAG REFERENCE

ROOM ROOM NAME
X101 ROOM NUMBER
PREFIX LETTERS INDICATE BUILDING REFERENCE

PLAN DETAIL REFERENCE

1
A1.1
WHERE DETAIL IS SHOWN

DOOR TAG REFERENCE

X101A
DX FX
DOOR NUMBER PREFIX LETTERS INDICATE BUILDING REFERENCE
FRAME TYPE
DOOR TYPE

BUILDING SECTION REFERENCE

1
A1.1
WHERE DETAIL IS SHOWN

WINDOW / LOUVER TAG REFERENCE

X101
SF101
WINDOW OR LOUVER NUMBER PREFIX LETTERS INDICATE BUILDING REFERENCE
WINDOW / LOUVER TYPE PREFIX LETTERS INDICATES FRAME MATERIAL

WALL SECTION REFERENCE

1
A1.1
WHERE DETAIL IS SHOWN

CEILING DETAIL REFERENCE

1
A2.3
WHERE DETAIL IS SHOWN

EXTERIOR ELEVATION REFERENCE

1
A1.1
WHERE ELEVATION IS SHOWN

INTERIOR PARTITION TAG REFERENCE

XX-1234
PARTITION TYPE SEE SHEET A3.1

REVISION CLOUD REFERENCE

1
REVISION NUMBER

INTERIOR ELEVATION REFERENCE

1
A1.1
WHERE ELEVATION IS SHOWN

PROJECT ALLOWANCES

FOLLOWING IS A LIST OF THE ALLOWANCES INCLUDED WITHIN THESE DOCUMENTS:
ALLOWANCE #1:

GENERAL CONSTRUCTION DOCUMENT NOTES

1. XXXXXXX

ABBREVIATIONS

L ANGLE	NIC NOT IN CONTRACT
@ AT	NOM NOMINAL
AFF ABOVE FINISH FLOOR	NTS NOT TO SCALE
ALUM ALUMINUM	OC ON CENTER
ARCH ARCHITECTURAL	OD OUTSIDE DIAMETER
BLKG BLOCKING	OPNG OPENING
CL CENTER LINE	OPP OPPOSITE
CJ CONTROL JOINT	P PAINT
CLG CEILING	PL PLATE, PROPERTY LINE
CTR CENTER	PR PAIR
CONC CONCRETE	R, RAD RADIUS
CMU CONCRETE MASONRY UNIT	REQD REQUIRED
CONT CONTINUOUS	RD ROOF DRAIN
DIA DIAMETER	RO ROUGH OPENING
DS DOWNSPOUT	SF SQUARE FEET
DWG DRAWING	SIM SIMILAR
EXT EXTERIOR	SPEC SPECIFICATIONS
EXIST EXISTING	STD STANDARD
EA EACH	STR STRUCTURAL
EJ EXPANSION JOINT	SUSP SUSPENDED
ELEC ELECTRICAL	TBD TO BE DETERMINED
EL ELEVATION	TBS TO BE SELECTED
ELEV ELEVATOR	TOS TOP OF STEEL
EQUIP EQUIPMENT	TOP TOP OF PLATE
EWC ELECTRIC WATER COOLER	TYP TYPICAL
FIN FINISH	UNO UNLESS NOTED
FD FLOOR DRAIN	VERT VERTICAL
FOF FACE OF FINISH	VCT VINYL COMPOSITION TILE
FOS FACE OF STUD	W WITH
FR FIRE RETARDENT	WC WATER CLOSET
FV FIELD VERIFY	WR WATER RESISTANT
GA GAUGE	WWF WELDED WIRE FABRIC
GYP BD GYPSUM BOARD	WD WOOD
HM HOLLOW METAL	
HORIZ HORIZONTAL	
HT HEIGHT	
HVAC HEATING VENTILATION AIR-CONDITIONING	
ID INSIDE DIAMETER	
INSUL INSULATION	
JT JOINT	
LAV LAVATORY	
MAX MAXIMUM	
MECH MECHANICAL	
MFR MANUFACTURER	
MIN MINIMUM	
MO MASONRY OPENING	

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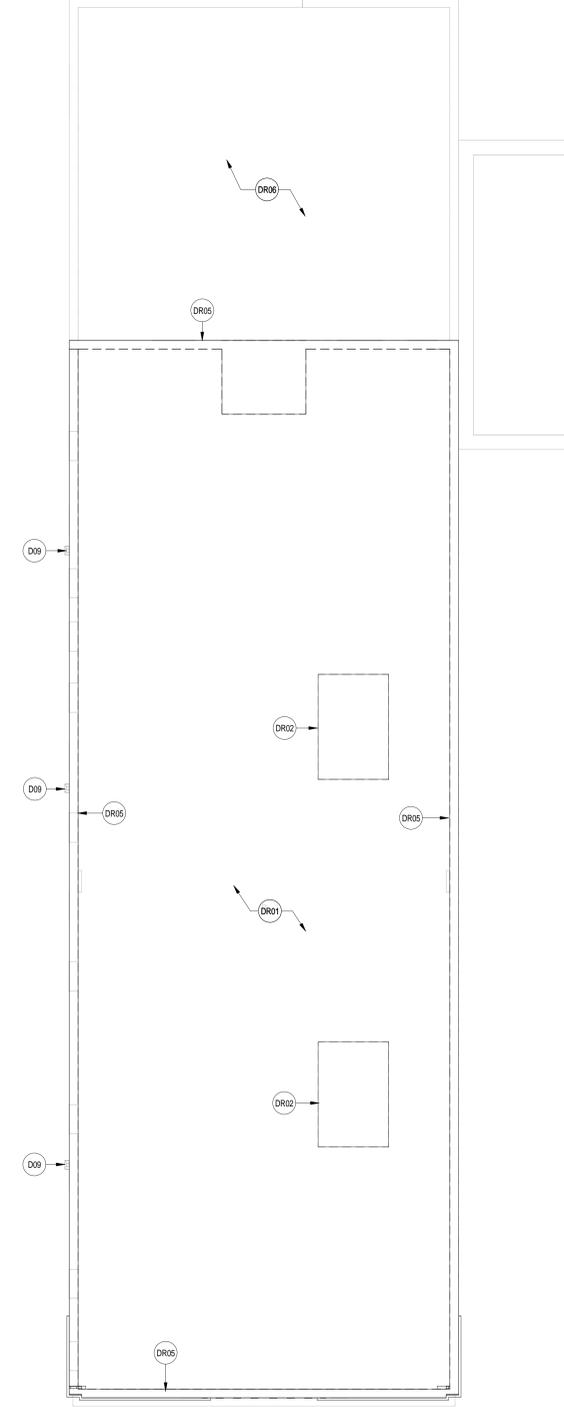
POWELL FURNITURE BUILDING
1519 SUMTER ST., COLUMBIA, SC

No.	Description	Date	Project Number
			P-820-15
			Drawn By
			Author
			Checked By
			03/15/16

Drawing Title:
TITLE SHEET, LOCATION MAP,
SYMBOLS, APPLICABLE
CODES, INDEX OF DRAWINGS

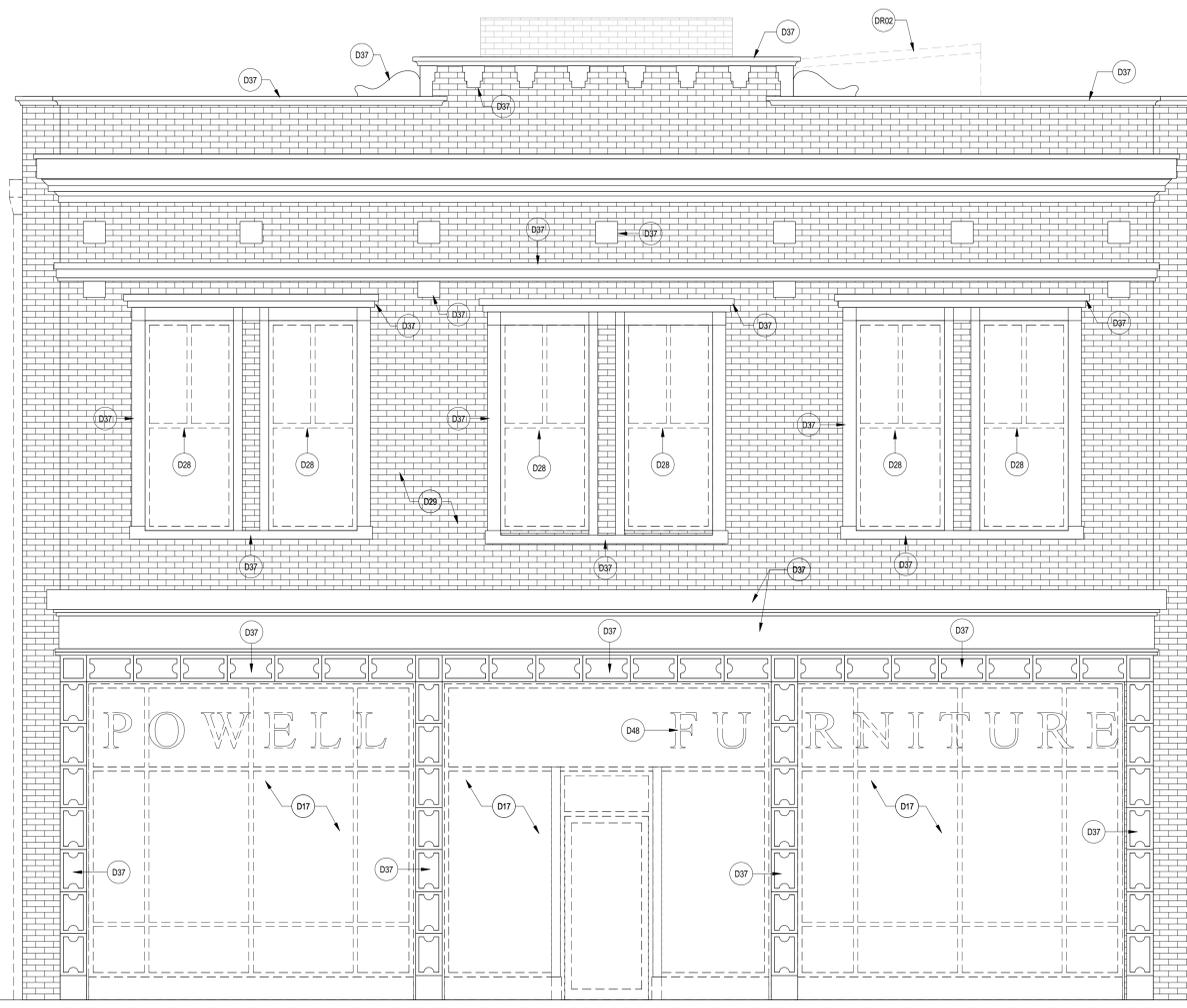
Drawing No.
T1.1

DA1.3 DEMOLITION LEGEND - ROOF PLAN	
Key Value	Keynote Text
D09	REMOVE AND DISPOSE OF EXISTING CONDUCTOR BOX, DOWNSPOUT AND BRACKETS. INFILL CUT BRICK WITH NEW BRICK ENTIRE DOWNSPOUT CAVITY.
DR01	REMOVE AND DISPOSE OF EXISTING ROOFING SYSTEM AND DECKING TO EXISTING WOOD RAFTERS.
DR02	REMOVE AND DISPOSE OF EXISTING SKYLIGHT AND FRAMING. SHORE UP ROOF STRUCTURE AND PREPARE EXISTING FRAMING FOR NEW SKYLIGHT FRAMING.
DR05	REMOVE AND DISPOSE EXISTING COPING AND REPAIR EXISTING MASONRY TO RECEIVE NEW BLOCKING AND METAL COPING.
DR06	REMOVE AND DISPOSE OF EXISTING ROOF SYSTEM, REPAIR ROOF DECK AND STEEL JOISTS AS REQUIRED.

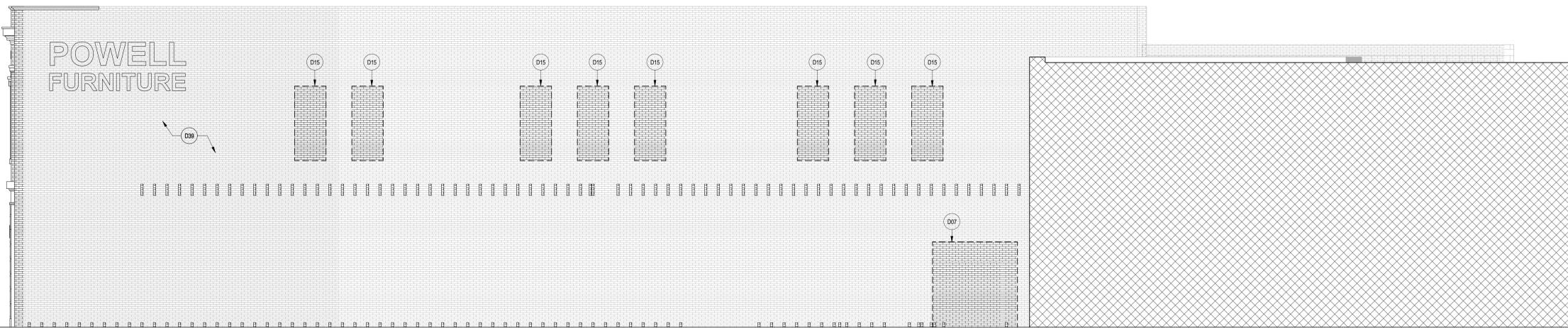


1 ROOF DEMOLITION PLAN
DA1.3 1/8" = 1'-0"

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<p>POWELL FURNITURE BUILDING 1519 SUMTER ST. COLUMBIA, SC</p>	
<p>NOT FOR CONSTRUCTION</p>	
<p>Project Number: P-820-15 Drawn By: Author Checked By: Checker Date: 03/15/16</p> <p><small>We warrant that the design shown on this drawing was prepared by a duly licensed professional member of the South Carolina Board of Professional Engineers, Architects, and Surveyors, and that the design complies with all applicable laws, codes, and regulations.</small></p>	
<p>ROOF DEMO PLAN</p>	
<p>DA1.3</p>	



1 DEMOLITION EAST ELEVATION
DA4.1 3/8" = 1'-0"



2 DA4.1 DEMOLITION NORTH ELEVATION
DA4.1 3/16" = 1'-0"

DA4.1 DEMOLITION LEGEND - ELEVATIONS	
Key Value	Keynote Text
D07	SAW CUT EXISTING MASONRY EXTERIOR WALL FOR NEW EXTERIOR DOOR. SEE STRUCTURAL.
D15	SAW CUT EXISTING MASONRY EXTERIOR WALL FOR NEW EXTERIOR WINDOW. SEE STRUCTURAL.
D17	REMOVE AND DISPOSE OF STOREFRONT, GLAZING, AND TRIM. DEMO SILL FRAMING AND FLASHING TO SLAB. PATCH AND REPAIR ROUGH OPENING EDGES TO RECEIVE NEW STOREFRONT.
D28	REMOVE AND DISPOSE OF EXISTING WINDOW AND REPAIR EDGES OF EXISTING MASONRY ROUGH OPENING.
D29	STRIP AND REMOVE EXISTING PAINT ON MASONRY, CORNICE AND PARAPET WALL PER US DEPARTMENT OF INTERIOR HISTORIC RESTORATION GUIDELINES. TYPICAL ENTIRE FACADE.
D37	IF EXISTING TRIM IS SECURELY FASTENED TO EXISTING WALL, CHEMICALLY STRIP AND CLEAN IN PLACE. TYP. OTHERWISE, CAREFULLY REMOVE, CHEMICALLY STRIP AND CLEAN EXISTING PAINT FROM TERRACOTTA TRIM AND STORE FOR RE-USE. TYP. STORE BROKEN TRIM PEICES FOR USE IN CREATING REPLICAS.
D39	PEEL-AWAY-STRIP AND REMOVE EXISTING PAINT. PREPARE WALL TO RECEIVE NEW PAINT LETTERS SPELLING "POWELL FURNITURE" IN SAME LOCATION.
D48	REMOVE AND DISPOSE OF EXISTING VINYL DIMENSIONAL LETTERING.
DR02	REMOVE AND DISPOSE OF EXISTING SKYLIGHT AND FRAMING. SHORE UP ROOF STRUCTURE AND PREPARE EXISTING FRAMING FOR NEW SKYLIGHT FRAMING.

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1519 SUMTER ST. COLUMBIA, SC

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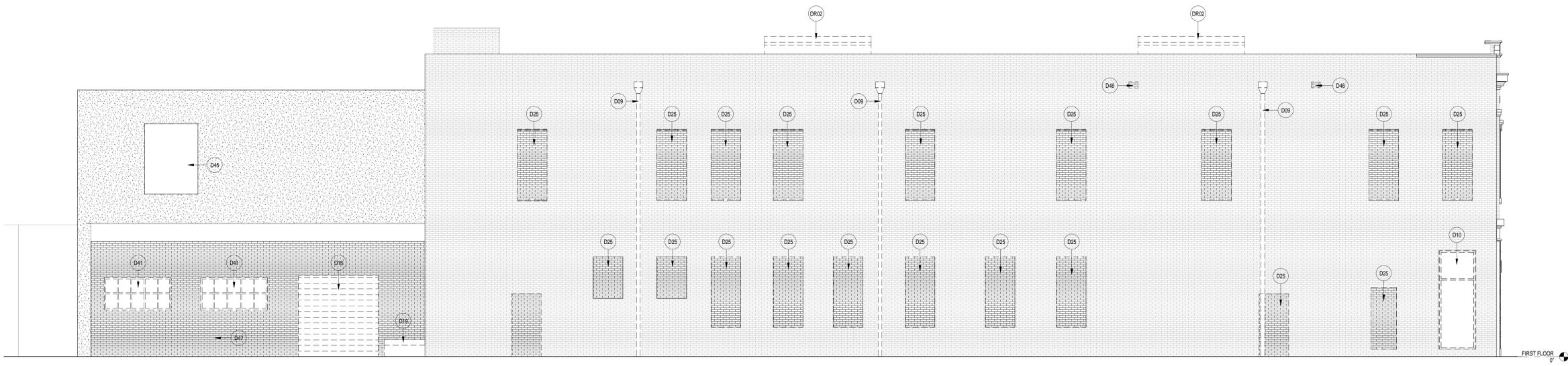
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DA4.1 DEMOLITION ELEVATIONS

DA4.1

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1 DEMOLITION WEST ELEVATION
DA4.2 3/16" = 1'-0"



DA4.2 DEMOLITION LEGEND - ELEVATION	
Key Value	Keynote Text
D09	REMOVE AND DISPOSE OF EXISTING CONDUCTOR BOX, DOWNSPOUT AND BRACKETS. INFILL CUT BRICK WITH NEW BRICK ENTIRE DOWNSPOUT CAVITY.
D10	REMOVE AND DISPOSE OF STOREFRONT, GLAZING, AND TRIM. PATCH AND REPAIR ROUGH OPENING TO RECEIVE NEW STOREFRONT.
D18	REMOVE AND DISPOSE OF EXISTING ROLL UP DOOR, DOOR TRACKS AND SUPPORT FRAMING.
D19	REMOVE AND DISPOSE OF EXISTING CONCRETE LOADING DOCK STRUCTURE AND FOUNDATION.
D25	REMOVE AND SALVAGE EXISTING BRICK INFILL AT ORIGINAL BUILDING WINDOW ROUGH OPENINGS AND PREPARE ROUGH OPENING TO RECEIVE NEW WINDOWS.
D41	REMOVE AND DISPOSE OF WINDOW SYSTEM AND TRIM. PATCH AND REPAIR ROUGH OPENING.
D45	SAW CUT EXISTING CMU WALL FOR NEW ROUGH OPENING.
D46	SAW CUT EXISTING BRICK LEVEL WITH ROOF SURFACE FOR NEW THROUGH WALL SCUPPER AT NEW DOWNSPOUT LOCATION.
D47	REMOVE AND DISPOSE OF EXISTING BRICK WALL. SHORE UP WALL AND PREPARE FOR NEW LOAD BEARING COLUMNS AND BEAM.
DR02	REMOVE AND DISPOSE OF EXISTING SKYLIGHT AND FRAMING. SHORE UP ROOF STRUCTURE AND PREPARE EXISTING FRAMING FOR NEW SKYLIGHT FRAMING.

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Project Number P-820-15	Date
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DEMOLITION ELEVATION	
Drawing Title.	
Drawing No.	
DA4.2	

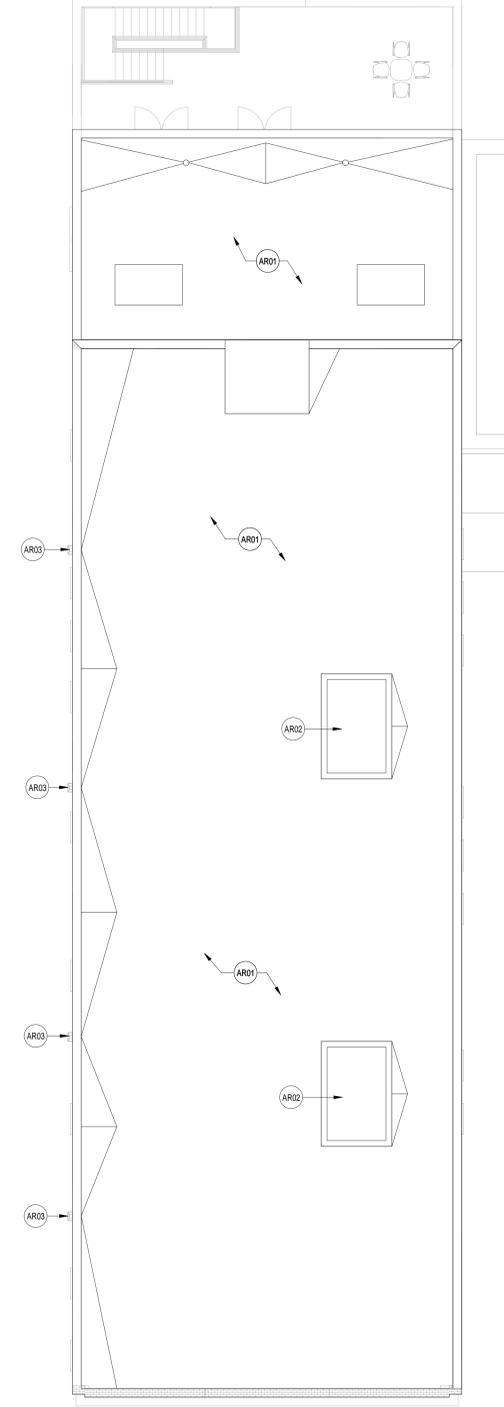
ROOF PLAN LEGEND

- LINE OF WALL BELOW
- DS
DOWNSPOUT
- VTR
VENT THROUGH ROOF

GENERAL ROOF CONSTRUCTION NOTES

1. SEE A6.0 FOR TYPICAL ROOF CONSTRUCTION.
2. FOR LOW SLOPED ROOF, MINIMUM ROOF SLOPE IS 1/4" PER FOOT.
3. COORDINATE WITH PLAN AND ELEVATION DRAWINGS FOR LOCATION OF DOWNSPOUTS.
4. CONTRACTOR TO SIZE GUTTERS AND DOWNSPOUTS BASED ON ROOF SURFACE.
5. COORDINATE WITH PLUMBING AND MECHANICAL DRAWINGS FOR ROOF PENETRATIONS.

A1.3 NEW WORK LEGEND - ROOF	
Key Value	Keynote Text
AR01	NEW KEE THERMOPLASTIC SINGLE PLY MEMBRANE ROOF OVER 1/2" COVER BOARD FULLY ADHERED TO 6" OF POLYISO FULLY ADHERED TO NEW STRUCTURAL PLYWOOD DECKING. FASTEN DECKING TO EXISTING ROOF RAFTERS.
AR02	NEW SKYLIGHTS AND RESTORED LIGHT WELL TO SECOND FLOOR CEILING BELOW.
AR03	NEW CONDUCTOR BOX, DOWNSPOUT AND BRACKETS. INFILL AND TOOTH IN NEW BRICK TO MATCH EXISTING AT DOWNSPOUT CAVITY.



1
A1.3 A1.5 ROOF PLAN
1/8" = 1'-0"

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POWELL FURNITURE BUILDING
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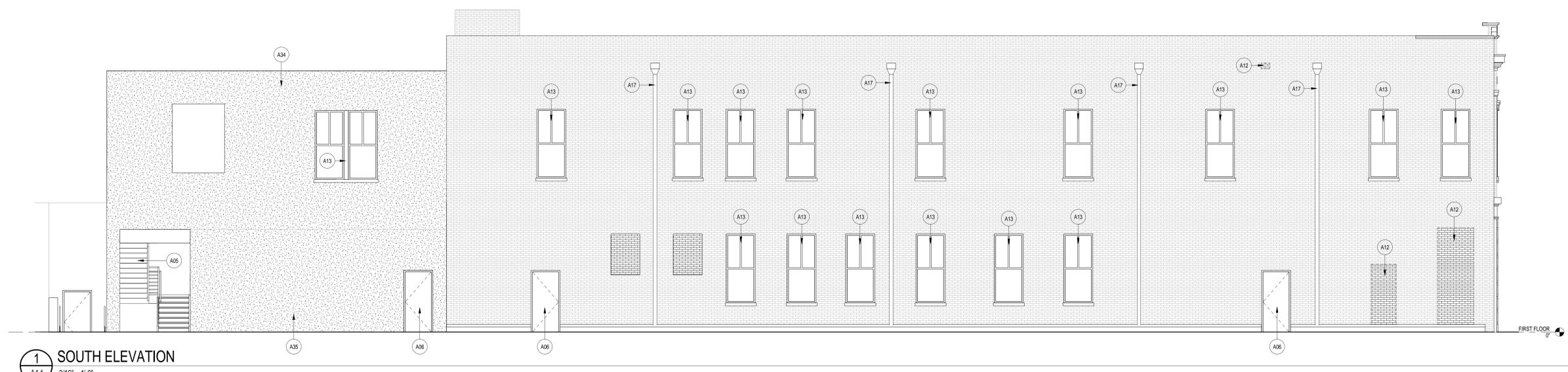
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Drawing Title:
ROOF PLAN

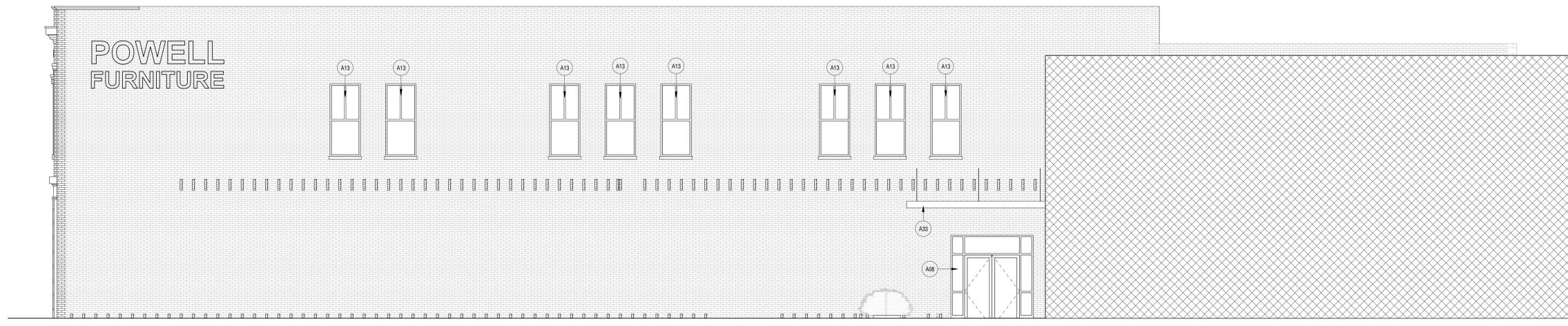
Drawing No.
A1.3

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A4.1 NEW WORK LEGEND - ELEVATIONS	
Key Value	Keynote Text
A05	NEW METAL PAN STAIR WITH SALVAGED WOOD IN TREADS, SANDED, STAINED, AND SEALED. CUSTOM STAINLESS STEEL WALL MOUNTED HANDRAIL AND GAURDRAIL/HANDRAIL SYSTEM THROUGHOUT.
A06	NEW INSULATED EXTERIOR HOLLOW METAL DOOR AND FRAME WITH ACCESS CONTROL: CARD READER AND DOOR POSITION SWITCH. PROVIDE DOOR CONTACTS FOR SECURITY SYSTEM.
A08	NEW INSULATED, LAMINATED, GLASS ENTRANCE STOREFRONT DOOR(S) WITH SIDE LIGHTS. ACCESS CONTROL: CARD READER AND DOOR POSITION SWITCH. PROVIDE DOOR CONTACTS FOR SECURITY SYSTEM.
A12	INFILL NEW THREE WYTHES OF BRICK IN WALL OPENING.
A13	NEW ALUMINUM CLAD WOOD DOUBLE HUNG SASH WINDOWS, BASIS OF DESIGN JELD-WEN. PROVIDE MAGNETIC SENSOR WIRED TO SECURITY SYSTEM.
A17	NEW CONDUCTOR BOX, DOWNSPOUT AND BRACKETS. INFILL AND TOOTH IN NEW BRICK TO MATCH EXISTING AT DOWNSPOUT CAVITY.
A33	NEW PRE-ENGINEERED METAL CANOPY SYSTEM.
A34	NEW STUCCO FINISH OVER EXISTING CMU WALL.
A35	NEW STUCCO FINISH OVER NEW CMU WALL.



1 SOUTH ELEVATION
A4.1 3/16" = 1'-0"



2 NORTH ELEVATION
A4.1 3/16" = 1'-0"

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POWELL FURNITURE BUILDING
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BUILDING ELEVATIONS

Drawing No. **A4.1**

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1 EAST ELEVATION
A4.2 3/8" = 1'-0"



A4.1 NEW WORK LEGEND - ELEVATIONS	
Key Value	Keynote Text
A13	NEW ALUMINUM CLAD WOOD DOUBLE HUNG SASH WINDOWS, BASIS OF DESIGN JELD-WEN. PROVIDE MAGNETIC SENSOR WIRED TO SECURITY SYSTEM.
A17	NEW CONDUCTOR BOX, DOWNSPOUT AND BRACKETS. INFILL AND TOOTH IN NEW BRICK TO MATCH EXISTING AT DOWNSPOUT CAVITY.
A20	NEW STOREFRONT, GLAZING, AND TRIM. NEW SILL FRAMING AND FLASHING TO SLAB.
A33	NEW PRE-ENGINEERED METAL CANOPY SYSTEM.

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Drawing Title:
BUILDING ELEVATIONS

Drawing No.
A4.2

Item 1: Storefront (east elevation)



Photo 1

Photo 2



Item 2: Terra cotta trim (east elevation)



Photo 3



Photo 4

Item 3: Vinyl lettering



Photo 5

Item 4: East elevation exterior wall paint



Photo 6

Item 5: Second level windows in east elevation



Photo 7

Item 7: Exterior wall paint, north elevation



Photo 8

Photo 9

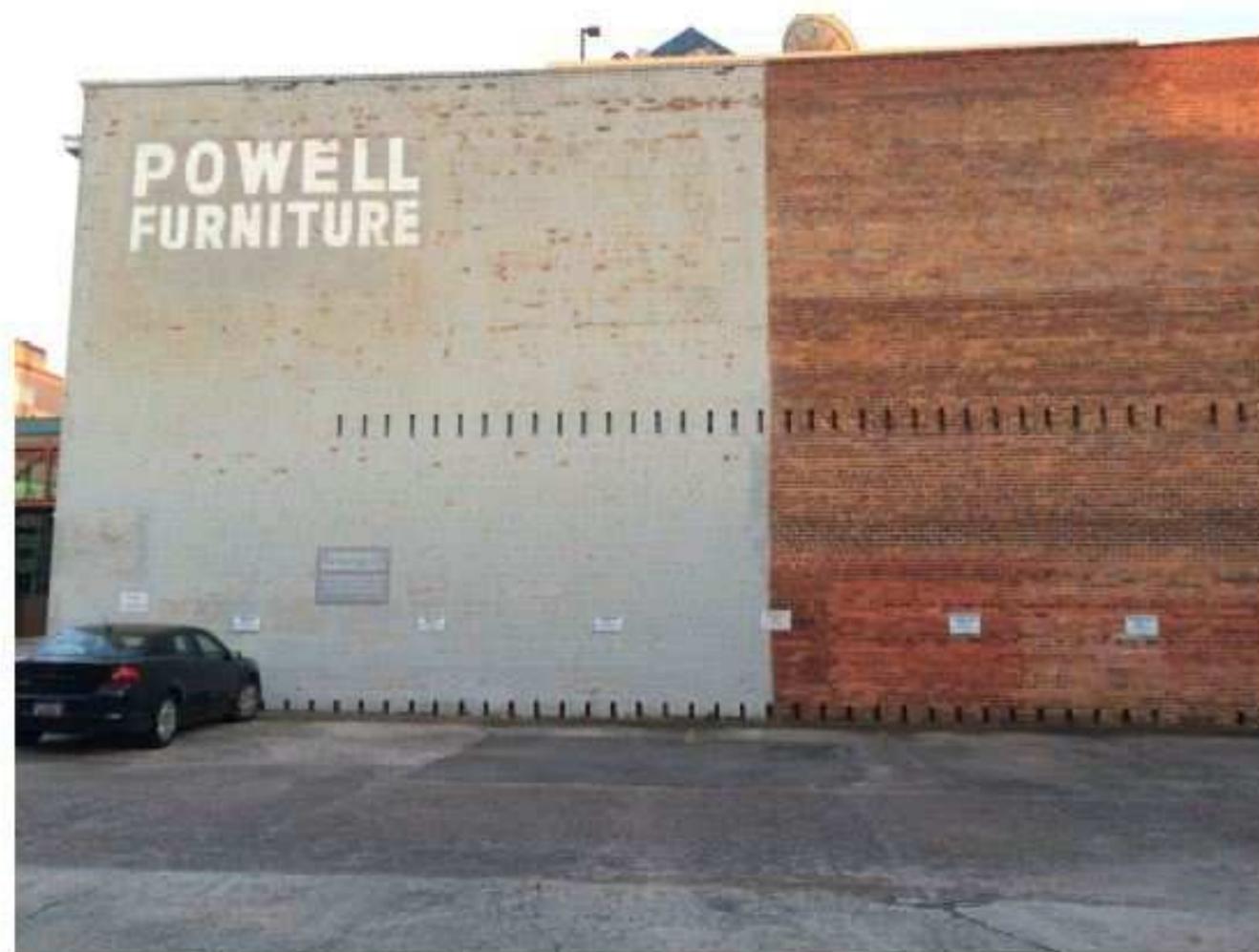


Item 8: Second level windows north elevation



Photo 10

Photo 11



Item 9: First level door north elevation

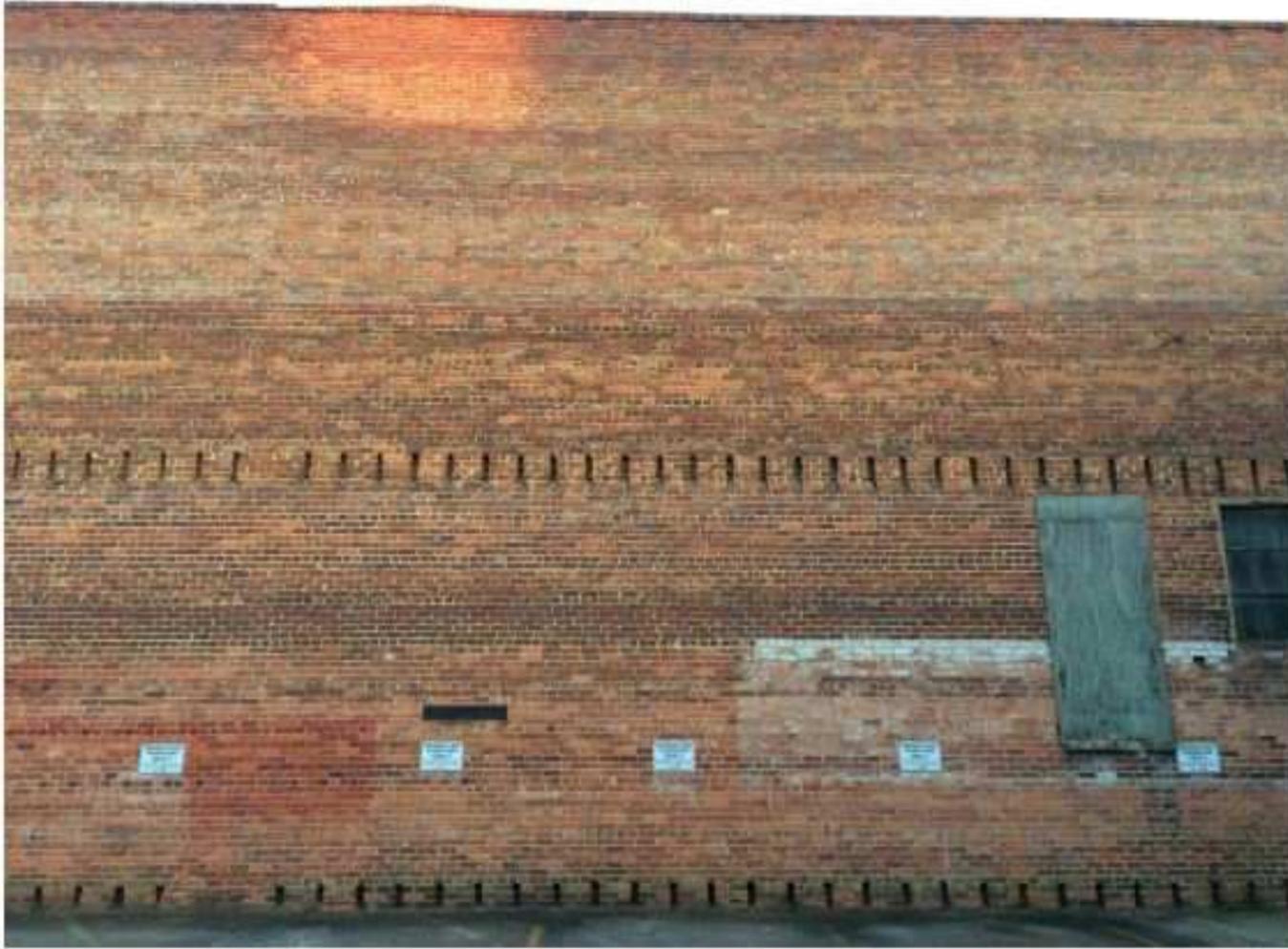


Photo 12

Photo 13



Item 10: First level windows in south elevation



Photo 14



Photo 15



Photo 16

Item 11: Second level windows south elev:



Photo 17



Photo 18



Photo 19

Item 12: First level doors south elevation



Photo 20

Photo 21



Item 13: Drainage equipment south elevation



Photo 22



Photo 23

Item 14: Rear addition south elevation



Photo 24

Photo 25

