



**DESIGN/DEVELOPMENT REVIEW COMMISSION
SITE/SUBDIVISION PLAN
CASE SUMMARY**

**401 HAMPTON STREET, 1504 THRU 1516 WILLIAMS STREET,
9 AND 21 SCIENCE ALLEY, SOUTH SIDE OF HUGER STREET
LAND HOLDING LLC
SELF-STORAGE FACILITY**

MAY 12, 2016 at 4:00pm

City Council Chambers, 3rd Floor, City Hall, 1737 Main Street
Columbia, South Carolina 29201

Subject Property:	401 Hampton Street, 1504 thru 1516 Williams Street, 9 and 21 Science Alley, South Side of Huger Street
TMS#:	09009-14-22 thru 28 and -31
Zoning District:	PUD-C, -DD (Commercial Planned Unit Development within the Design Development Overlay District)
Council District:	2
Proposal:	Request for Site Plan Approval for the construction of a ±100,000 sq. ft. self-storage facility
Applicant:	Land Holding LLC
Proposed Use:	Self-Storage Facility
Staff Recommendation:	Recommend approval with various conditions.

Detail:	This project entails the construction of a ± 100,000 sq. ft. climate-controlled self-storage facility on 1.27 acres. Though there are many staff comments within this case summary, the proposed site plan largely meets requirements. Should the Commission be inclined to grant approval of the site plan, staff would request that the Commission grant approval subject staff comments.
----------------	---

CITY AGENCY COMMENTS FOR SITE/SUBDIVISION PLAN REVIEW

John Fellows, Planning Administrator and Lucinda Statler, Urban Design Planner	<p>Recommend approval with a conditions:</p> <ol style="list-style-type: none"> 1. Make sidewalk along Hampton Street 6'. This is the minimum per Walk Bike Columbia; 2. Make sidewalk along Williams 8'- this is more appropriate for an arterial, and since we have the room; 3. Shift the sidewalk on Williams 5' away from the building so that it aligns across the driveway and doesn't job. The area between the sidewalk and the building can have low plantings (like liriopse, or something similar); 4. Put the crape myrtles along Williams, where there are power lines. Since they are small flowering trees, they can be halfway between the sidewalk and the curb without interrupting the power lines. 5. Put the shade trees that are not going on Williams onto Hampton Street, where there are no power lines.
---	--

	6. Please see the attached redline illustrates the following changes:
K. Brian Cook, Zoning Administrator	Recommend approval with condition: 1. Must meet all requirements of the Canalside PUD zoning district.
Johnathan Chambers, Land Development Administrator	Recommend approval with a condition: 1. City and State Encroachment permits will be required for work being conducted within the ROW. 2. TMS#09009-14-22 thru 28 and -31 to be consolidated into one lot prior to the issuance of any permits.
Chris Metts, Plans Examiner	Recommend approval.
Scott Rogers, Utilities	Recommend approval with conditions: 1. Any needed upgrade, extension or relocation of City utilities must be provided by the developer. 2. Any privately owned/maintained utilities or permanent structures cannot be located inside exclusive City of Columbia utility easements. 3. Water mains, sewer mains, water meters that are 4" or larger or any privately maintained utilities will not be allowed inside public right-of-ways or under sidewalks without an approved encroachment permit and written approval from the City Engineer. Coordination between the Civil Engineer, Architect and Mechanical Engineer to allow room for these utilities on the developed property is strongly encouraged. 4. If sewer flows for this project result in flows of 4,000 gallons per day or above calculations must be submitted to the City's Engineering department to determine how the proposed project will affect the City's sewer system. Depending upon the effects of the projected flows this project may or may not be approved. If required, these calculations should be submitted to the Engineering department as soon as possible.
David Brewer, Traffic Engineering	Recommend approval.
Kris Scott, Fire Department	Recommend approval.
Scott Holder, Land Development Planner	Recommend approval with condition: 1. Insufficient room between building and overhead power lines to plant large shade trees. Recommend swapping crape myrtles along Hampton St with 2 Nuttall Oaks/1 Pistache adjacent to building along Williams St.
Danielle Riffenburg, Forestry	Recommend approval with condition: 1. Developer must obtain SCDOT approval for any new landscaping installed along SCDOT roadways. 2. Forestry and Beautification requests no canopy trees be planted under or adjacent to existing overhead utilities, which includes new trees along Williams Street. 3. Forestry & Beautification must approve new trees (no Oaks or Pistache in Williams Street Right of Way). 4. If any new landscaping or irrigation is installed in the right of way, it must be approved by Forestry and Beautification and maintained by the adjacent property owner in a manner to not interfere with vehicular and pedestrian traffic.
Michael Jaspers, Stormwater	Recommend approval with condition: 1. Land disturbance requirements will apply, and specifics will be determined upon permit submittal and review.

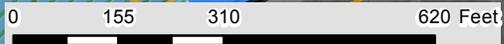
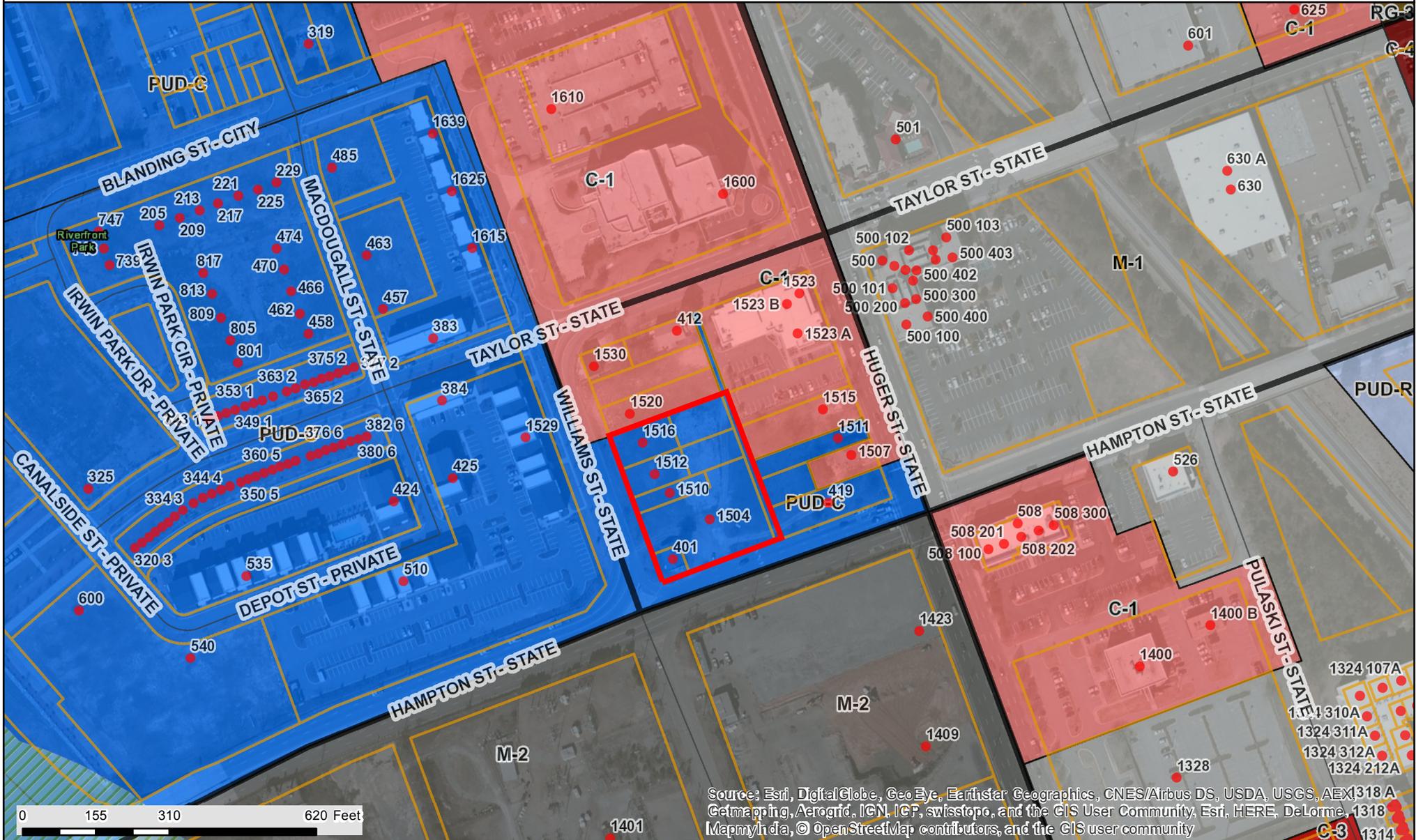
Robert Sweatt, Street Division	Recommend approval.
John Hooks, Solid Waste	Recommend approval.
John Spade, Parking Services	Recommend approval.

City of Columbia

CANALSIDE SELF STORAGE



Wednesday, May 04, 2016



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, 318 A, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community, Esri, HERE, DeLorme, 1318, MapmyIndia, © OpenStreetMap contributors, and the GIS user community

CITY OF COLUMBIA GIS DATA DISCLAIMER

The City of Columbia GIS data represented on this map or plan is the product of compilation, as produced by others. It is provided for informational purposes only and the City of Columbia makes no representation as to its accuracy. Its use without field verification is at the sole risk of the user.



City of Columbia

CANALSIDE SELF STORAGE



Wednesday, May 04, 2016



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community, Esri, HERE, DeLorme, MapmyIndia, © OpenStreetMap contributors, and the GIS user community

CITY OF COLUMBIA GIS DATA DISCLAIMER

The City of Columbia GIS data represented on this map or plan is the product of compilation, as produced by others. It is provided for informational purposes only and the City of Columbia makes no representation as to its accuracy. Its use without field verification is at the sole risk of the user.





City of Columbia APPLICATION for SITE PLAN/SUBDIVISION PLAT REVIEW

OFFICE USE ONLY: Date Received _____ By _____

1) APPLICANT (Please Print)

Name:	Ryan Kyle	Company:	Land Holdings Two LLC
Tel. #:	803-540-3409	Fax#:	
Mobile #:		E-mail:	rylan.e@mailsouth.net

Do you own any of the property affected by this application? YES NO; If NO, provide Letter of Agency
Already on file

2) THIS APPLICATION IS FOR (Check all that apply)

- Group/Individual Commercial Development
- Group Residential Development
- Residential Subdivision
- Planned Unit Development Site Review

3) PROPERTY

Address:	Attached		
TMS#:		Total Acreage:	1.27
Current Use:		Proposed Use:	self storage
Current Zoning:	Attached PUL		
Number of Lots and/or Units:		Total Sq. Ft.	99,616

3) DETAILED PROJECT DESCRIPTION: (Attach additional paper if you need more space)

Development of a four-story climate controlled self-storage facility - three stories will be built "above grade plane"

4) NEIGHBORHOOD CONSULTATION

Prior to the Planning Commission meeting, meet with the adjacent neighbors or neighborhood association to communicate details of the proposed project. Please note that this informational meeting is not required by ordinance, but is *strongly* encouraged. Contact information may be obtained from Zoning staff.

5) PLAN SUBMITTAL

Please refer to the Checklist for Site Plan Review for materials required for submittal with this application

6) SIGNATURE

Applicant Signature:	<i>[Signature]</i>
Print Name:	Ryan Kyle
Date:	3/30/16

PC Date: _____ Action: _____

APPLICATION



DESIGN/DEVELOPMENT REVIEW COMMISSION

Please see submission materials checklist for materials necessary for application
SUBMISSION MATERIALS MUST ACCOMPANY APPLICATION
Application forms and materials are **DUE AT 4:00 p.m.** on the deadline date

Location: Canalside Parcel 7

Is the project: Site plan review
 New construction Square Footage _____
 Renovation Square Footage _____
 Addition Square Footage _____
 Other Sign/Site Improvement (wall, fence, etc.) _____

- What is the cost of your project? \$7 M
- Does this project have 5 or more dwelling units? ___yes xno
 - If yes, how many in total? _____
- Will the total combined sq. footage of existing and new structures on the site be equal to or greater to 50,000square feet? xyes ___no
 - If yes, how what is the total square footage? 99,616

General Description of Proposal

Climate-controlled self storage building - four stories with three stories built above grade

List of Submission Materials: (See Submission Materials Checklist)

Ryan Hylor
Applicant Signature*

rylor@mailsouth.net
E-mail Address

Ryan Hylor
Print Name

1276 Assembly St 29201
Mailing Address

803-206-1438
Phone Number

3/30/16
Date

*If applicant is not property owner, please submit Letter of Agency form.

PLANT SCHEDULE

EVERGREEN TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	
	EJ	3	Eriobotrya japonica / Loquat	B & B	4" Cal	8' ht.	
LARGE TREE DECIDUOUS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	
	PIS CHI	2	Pistacia chinensis / Chinese Pistache	B & B	4" Cal	12-14' ht.	
	QOU NUT	3	Quercus nuttallii / Nuttall Oak	B & B	4" Cal	12-14' ht.	
	QUE RUB	2	Quercus rubra / Red Oak	B & B	4" Cal	12-14' ht.	
	ULM ALL	3	Ulmus parvifolia 'Allee' / Allee Lacebark Elm	B & B	4" Cal	12-14' ht.	
	ZEL VIL	1	Zelkova serrata 'Village Green' / Sawleaf Zelkova	B & B	4" Cal	12-14' ht.	
LARGE TREE EVERGREEN	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	
	CRY RA2	3	Cryptomeria japonica 'Radicans' / Japanese Cedar	B & B	2" Cal	6-7' ht.	
SMALL TREE DECIDUOUS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	
	LAG SIB	4	Lagerstroemia indica 'Sioux' / Sioux Crape Myrtle	B & B	4" Cal	8' ht.	
	LAG WHI	10	Lagerstroemia x 'Natchez' / Natchez Crape Myrtle Multi-Trunk	B & B	4" Cal	8' ht.	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	
	ROS HU6	4	Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary	1 gal			
EVERGREEN GROUND COVER	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	
	JUN PA3	20	Juniperus davurica 'Parsonii' / Parson's Juniper	3 gal			
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	
	ILE BUR	19	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3 gal	18" ht.		
	ILE DE2	8	Ilex glabra 'Densa' / Inkberry Holly	7 gal			
	ILE DW3	26	Ilex vomitoria 'Schillings Dwarf' / Dwarf Schillings Holly	3 gal			
	LJRB	11	Ligustrum japonicum 'Recurvifolium' / Navy leaf Ligustrum	7 gal	3' ht.		
	PTM	6	Pittosporum tobira 'Mojo' / Mojo Pittosporum	3 gal	18" ht.		
	POD MAC	1	Podocarpus macrophyllus / Podocarpus Symmetrical, full to base	10 gal	4-5' ht.		
	POD DWA	25	Podocarpus macrophyllus 'Dwarf Pringles' / Dwarf Pringles Podocarpus	3 gal	18" ht.		
	RHA MO6	6	Raphiolepis x 'Montic' / Majestic Beauty Hawthorne	7 gal	18" ht.		
	VIB CHI	16	Viburnum awabuki 'Chindo' / Chindo Viburnum	7 gal	3' ht.		
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	
	MIS SIN	6	Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass	3 gal	18" ht.		
	MIS LI2	3	Miscanthus sinensis 'Little Kitten' / Little Kitten Eulalia Grass	3 gal			
EVERGREEN GROUND COVER	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	FIELD3	SPACING
	JUN PA5	18	Juniperus davurica 'Parsonii' / Parson's Juniper	3 gal			12" spread 36" o.c.
	TRA ASI	309	Trachelospermum asiaticum / Asiatic Jasmine	1 gal			18" o.c.
SOD	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	FIELD3	SPACING
	CYN HYB	11,331	Cynodon dactylon '419 Hybrid' / Bermuda Grass	sod			12" o.c.

LANDSCAPE SPECIFICATIONS

- The term contractor shall refer to the landscape contractor in landscape specifications. Landscape installation shall include all aspects indicated on the plans and specifications including but not limited to such things as plantings, irrigation installation, landscape lighting, construction of hardscapes elements, etc.
- Pre-construction meeting to be held on site prior to installation of irrigation or plantings.
- The contractor shall notify the landscape architect if existing conditions are found to be different than shown on the landscape plan. The contractor shall keep a full set of the landscape planting plans, details and specifications and irrigation plans on site at all times while work is in progress. Request clarification from landscape architect if conflicts occur between any of the plans. It is highly recommended to make a site visit prior to submitting a bid.
- All plant material shall conform to "American Standard for Nursery Stock", latest edition. All plant material to be symmetrical and typical of their species unless otherwise indicated on plans by landscape architect. Plant material shall be sound, healthy, vigorous, and free from disease and pest and shall have a normal root system. Plant material shall be covered during transporting to avoid wind damage. Plant material not found to be acceptable according to these specifications shall be removed from site and replaced at contractor's expense.
- All plant material shall be warranted against death or unhealthy condition for a period of one (1) year from date of written final acceptance by landscape architect of the landscape installation. Theft of plants, vandalism or lack of reasonable care shall exclude plantings from this warranty. Owner to provide adequate watering and reasonable care during the warranty period.
- Irrigation system shall be warranted for a period of one (1) year from date of written final acceptance by landscape architect of the irrigation system installation. Provide owner with accurate as-built for irrigation and sleeve installation along with manuals for operating systems.
- No part of this work shall be performed or installed in any location or manner which may endanger the health, safety or welfare of the owner or public now or in the future.
- The contractor agrees to assume sole and complete responsibility for their performance on job site. They shall be responsible for site conditions pertaining to their work during the course of landscape installation of this project including safety of all persons and property. That this requirement shall apply continuously and not be limited to normal working hours. The contractor shall defend, indemnify and hold the owner, general contractor and landscape architect harmless from any and all liability, real or alleged, in connection with his/her performance on work on this project, excepting liability arising from the sole negligence of the owner, general contractor or landscape architect.
- During construction all on-site plant material must be watered and all work must be maintained by the contractor until final written acceptance by landscape architect.
- The contractor shall comply with all applicable rules, regulations, laws and ordinances imposed by authorities having jurisdiction over this project site. Any part of the plans, notes or specifications that are in conflict with these rules, regulations, laws or ordinances shall not apply and the contractor shall immediately give written notice to the landscape architect of the conflict.
- Sizes given are minimums. Install sizes and varieties as per plans unless written approval by landscape architect.
- All substitutions must be requests in writing and can only be approved by the landscape architect in writing. Any request for on-site meetings must be scheduled with a minimum of 48 hours notice to the landscape architect.
- Landscape installation shall include but not be limited to grubbing out weeds, tilling, planting, mulching, weed control and clean up. Remove all existing sod, weeds and debris in proposed beds prior to installation.
- Grade at start of landscape installation shall be +/- 0.1' finished grade. Fine grade to remove rocks 2" diameter of greater and debris. Fine grade to eliminate any depressions that would hold water. Contractor is responsible for maintaining on-site drainage during installation. No import or export of soil is in scope of these specifications. The contractor is responsible for installing any erosion control devices necessary to insure the containment of any and all sediment from leaving the construction site. Contractor shall not change grade to cause runoff to stand or cause runoff to flow toward building.
- All grades shall slope away from building enough for positive drainage away from the building to occur. Inform landscape architect if there are any drainage problems prior to landscape installation.
- Call to locate utilities prior to digging. Contact landscape architect if there are any conflicts with existing utilities and proposed plantings or irrigation installation. Contractor shall be responsible to coordinate with general contractor and site package contractor all underground utilities on-site prior to digging.
- All planting beds are to be amended with the following materials per 1,000 sq ft:
A. Topdress beds with three (3) cubic yards of mushroom compost
B. Fifteen (15) lbs. of agricultural gypsum
Then machine till to depth of 4-6".
- The burden of the proof of soil amendment rests with the contractor. Soil tests may be required at the contractor's expense in order to confirm amendment of soil.
- Install mechanical irrigation system prior to plantings. Install drip lines after plantings are completed to make sure emitters set in the most efficient locations for watering plantings.
- All chemicals on-site to be kept in their original containers and shall be handled, installed and disposed of in accordance to prevailing laws.
- Plant shrubs and trees slightly elevated above finished grade. Install as per details.
- Remove tags from plant material that could cause girdling of the plant in the future.
- Tree calipers shall be measured 6" above rootball for trees 4" caliper or less and 12" above rootball for trees greater than 4" caliper.
- Trees shall not be planted within 4" of buried utilities. Relocate slightly if necessary. Contractor responsible for locating utilities prior to digging. Trees shall not be planted closer than 4' from the edge of hard surfaces such as curbing, patios and sidewalks.
- Rootball for containerized plants shall hold soil when removed from pot but not be rootbound. No B&B plants shall be accepted if rootball is broken or loose.
- All planting holes for trees and shrubs shall be two (2) times the diameter of the rootball. Set plant with top of rootball slightly elevated. Backfill for all plantings shall be amended soil being 3 parts soil from pit: 1 part mushroom compost. Mix evenly. Set plant in center of hole. Plant plumb and with best side turned out toward highest visibility. Backfill in manner that avoids air pockets. Install 21 gram agriform fertilizer tablets as per manufacturer's recommendations.
- Set B&B plants in hole, backfill 2/3 amended soil to stabilize, remove top 1/3 portion of burlap and bend wire back so upon completion of backfilling with amended soil all wire and burlap will be below grade. Do not have any burlap or wire exposed above grade upon completion of backfilling.
- Apply pre-emergent herbicide for weed control to all planting beds prior to mulching as per manufacturer's recommendations. Check label for compatibility with plant material. Do not apply pre-emergent to any areas to receive seed.
- Mulch with brown cypress mulch to the depth of 2".
- Do not prune any trees or shrubs without written prior approval from landscape architect.
- Guy and stake all trees as per details shown on plan. Guy in manner that avoids putting stress on smaller limbs and avoid wires scraping bark due to wind movement.
- Keep all plants watered well during installation process. Deep water all plantings within 24 hours of initial installation.
- All areas not designated as planting beds shall be sodded. Sod area shall be filled to the depth of 4-6" then fine graded and rocks and debris removed. Eliminate any unevenness prior to sodding.
- Sod shall be fresh cut Tiftway 419 Bermudagrass. Sod shall be well rooted and shall hold together when picked up from the corners. Lay sod with hand tight joints. Avoid overlapping.
- Roll sod with a water ballast to have good soil to root contact. Water within 8 hours of installation and keep well watered during the establishment period. Do not roll sod on slopes that exceed 3:1.
- Apply pre-emergent to all sodded areas.
- Apply LESCO 16-4-8 fertilizer to all areas to be sodded as per manufacturer's recommendations.
- Clean up site daily of all materials associated with the landscape installation until completion of the installation. Keep tools safely placed to avoid injuries.
- The contractor shall maintain the landscape throughout the landscape installation process until written final acceptance of the landscape installation by landscape architect. Any plants that die or are found to be in an unhealthy condition during the warranty time shall be replaced at the contractor's expense within three (3) weeks of notification of death or decline. Any irrigation repairs needed shall be done in a timely manner to protect the health of the plantings.

DFS CALCULATIONS:
 ONE 25" EXISTING WATER OAK TO BE REMOVED REQUIRING REPLACEMENT OF 21 UNITS
 SITE IS 1.26 ACRES THUS REQUIRING 1.26 X 30 = 38 UNITS
 A TOTAL OF 59 UNITS IS REQUIRED. PLAN AS SHOWN MEETS AND EXCEEDS
 REQUIRED DFS UNITS ON SITE.

REBECCA M. LOONEY AND ASSOCIATES, INC. ASLA
 LANDSCAPE ARCHITECTURE • HORTICULTURE
 P.O. BOX 24, BALLENTINE, SOUTH CAROLINA 29002
 (803) 240-7990 • rmllooney@rebeccamlooney.com

CANALSIDE SELF STORAGE
 LOCATED IN THE CITY OF COLUMBIA
 RICHLAND COUNTY, SOUTH CAROLINA

PROJECT TITLE:
 CANALSIDE SELF STORAGE
 LOCATED IN THE CITY OF COLUMBIA
 RICHLAND COUNTY, SOUTH CAROLINA

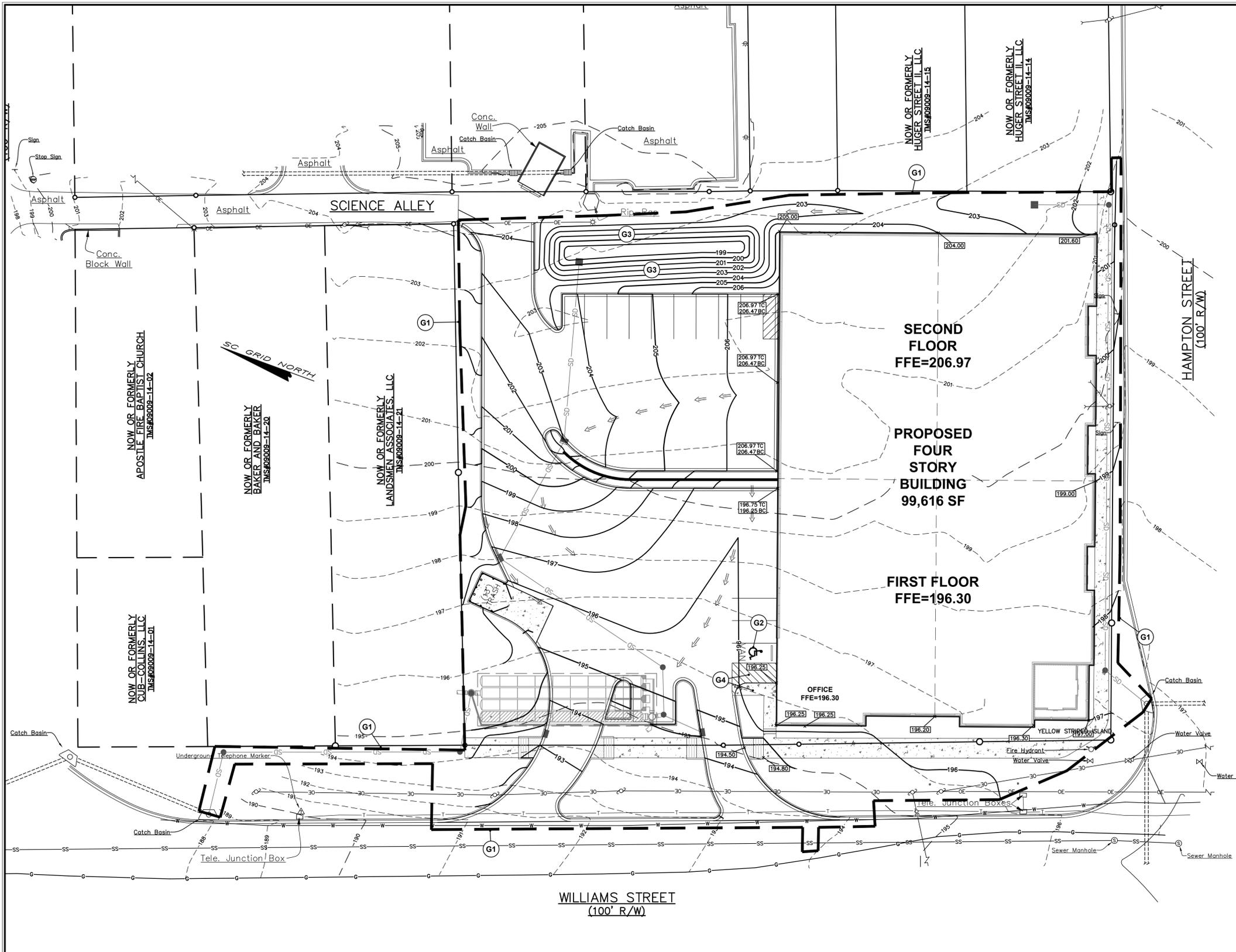
DATE:
 3/30/16

REVISION HISTORY:

DATE	NO.	ISSUES FOR	BY

DRAWING TITLE:
 PLANT SCHEDULE
 AND
 SPECIFICATIONS

SHEET NO.
 L1.2



GRADING LEGEND

- PROPOSED SPOT ELEVATION
- PROPOSED SPOT ELEVATION TOP AND BOTTOM OF CURB
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- LIMITS OF DISTURBANCE
- FLOW ARROW INDICATING DIRECTION OF FLOW

CODED GRADING NOTES

- G1 LIMITS OF DISTURBANCE.
- G2 HANDICAP PARKING SPACE. THE MAXIMUM SLOPE ALLOWED IN ANY DIRECTION OF A HANDICAP PARKING SPACE IS 2.0%.
- G3 SLOPE = 2 TO 1.
- G4 MAXIMUM CROSS SLOPE IN ADA ROUTE = 2.0%.

- REFERENCES:**
1. PLAT PREPARED FOR BAKER AND BAKER, BY COX AND DINKINS, INC., DATED MARCH 27, 2012.
 2. PLAT PREPARED FOR HUGER STREET II, LLC, BY BAXTER LAND SURVEYING CO., INC., DATED MAY 7, 2007, AND RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR RICHLAND COUNTY IN PLAT RECORD BOOK 1324, PAGE 3573.

- NOTES:**
1. THE SUBJECT PROPERTY IS IDENTIFIED AS RICHLAND COUNTY TAX MAP SHEET 09009, BLOCK 14, LOTS 24, 25, & 26.
 2. ZONING OF THE SUBJECT PARCEL IS OFFICE AND INSTITUTIONAL (C-1).
 3. CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
 4. REFERENCE MARK USED IS SCGS MONUMENT DESIGNATED "9", ELEVATION= ? (feet) (NAVD 88 DATUM), AS TAKEN FROM NGS DATA SHEET, <http://www.ngs.noaa.gov/>.
 5. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES LINES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 6. THIS PROPERTY IS LOCATED IN ZONES X PER FLOOD INSURANCE RATE MAP PANEL 4506300094 H, LAST DATED FEBRUARY 20, 2002, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECT/MOST UP-TO-DATE PLANS AVAILABLE.
 8. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



COX AND DINKINS, INC.
724 BELTLINE BLVD.
COLUMBIA, SC 29205
803-254-0518
Fax: 803-765-0993
Email: cdinc@coxanddinkins.com



REGISTERED PROFESSIONAL ENGINEER
NO. 29018



CERTIFICATE OF AUTHORIZATION SEAL

REVISIONS	DESCRIPTION
No.	DATE

DEVELOPER:

MR. RYAN HYLER
TOMLIN & COMPANY
4500 FT. JACKSON BOULEVARD
COLUMBIA, SC 29206
P: 803.540.3400
F: 803.540.3440

PRELIMINARY
PROJECT: **CANALSIDE SELF STORAGE**
LOCATED IN THE CITY OF COLUMBIA
RICHLAND COUNTY, SOUTH CAROLINA
GRADING PLAN

NOTE:
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES WAS OBTAINED FROM LOCAL UTILITY COMPANIES AND AVAILABLE DRAWINGS SUPPLIED BY THE OWNER AND IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. HOWEVER, COX AND DINKINS, INC. HAS NO NOTICE OR KNOWLEDGE OF ANY FACTS THAT WOULD LEAD US TO CONCLUDE THAT THE INFORMATION IS NOT ACCURATE, BUT UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS ASSIGNS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE UNDERGROUND INFORMATION, INFORMATION WITH RESPECT TO ABOVE GROUND MONUMENTS OF SUCH UTILITIES IS BASED UPON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

The Palmetto Utility Protection Service, Inc.
810 Deak Square Blvd., Suite 220 Columbia, South Carolina 29201 (803) 939-1117

3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

COPYRIGHT © 2016 COX AND DINKINS, INC. ALL RIGHTS RESERVED. G:\Proj\1894_Canalside Self Storage\DRAWINGS\1894_Site.dwg, Plotted By: SBD, Plotted: Apr 29, 2016 8:28am



HALLMARK SELF STORAGE

COLUMBIA, SC

LⁱC ASSOCIATES

A R C H I T E C T S