

# D/DRC Case

300 Laurel Street

City Center Design/Development District

TMS: 09005-01-01



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**DESIGN/DEVELOPMENT REVIEW COMMISSION**  
**DESIGN REVIEW DISTRICT**  
**EVALUATION SHEET**  
Case # 1

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**ADDRESS:** 300 Laurel Street

**APPLICANT:** Deb Snow, architect

**TAX MAP REFERENCE:** 09005-01-01

**USE OF PROPERTY:** Business Office and Surfacing Parking

**REVIEW DISTRICT:** City Center Design/Development District

**NATURE OF REQUEST:** Request for Certificate of Design Approval for addition to water works plant and renovation of clear wells.

**FINDINGS/COMMENTS:**

**5.9 Building Additions, Renovations, and Demolitions**

*When an existing structure is to be renovated or expanded, care should be taken to complete the work in a manner that respects the original design character of the structure. The appropriate design guidelines in this section are to be implemented whenever a structure is to be renovated or expanded.*

**5.9.10 Additions to Existing Structures**

*The design of a proposed addition should follow the general scale, proportion, massing and detailing of the original structure; it should be harmonious, not in stark contrast.*

- *New additions should be interpretations of the existing buildings wherein the main characteristics of the existing structure are incorporated using modern construction methods. This may include: the extension of architectural lines from the existing structure to the addition; repetition of window and entrance spacing; use of harmonizing colors and materials; and the inclusion of similar, yet distinct, architectural details (i.e., window/door trim, lighting fixtures, tile/brick decoration, etc.)*
- *New additions should be designed so that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*

The addition to the water treatment plant building meets all of the guidelines above. The design, materials, and detailing is consistent with the historical portions of the building. The addition is designed to preserve the integrity of the original structure.

The taller walls of the clear wells are clad with hard coat stucco, with a brick wainscot and columns and a pre-cast concrete cap to tie the design into that of the buildings.

**STAFF RECOMMENDATIONS:**

Staff recommends granting Certificate of Design Approval.

## **MATERIALS LIST**

### **Existing materials on site:**

#### **HSPS #3 Building:**

Roof Color panels shall match McElroy Metal (or Englert) "Pacific Blue"

Facia, soffit and trim color shall match Peterson Aluminum Corp. "Sandstone"

Provide 20-year Kynar 500 finish

Brick shall be BORAL BRICK "Craggy Mountain" modular brick – extruded brown heavy texture clay brick

Mortar shall match existing mortar color as closely as possible, custom color

Precast Concrete Trims (Architectural Stone – Rockcast Commonwealth – Blend of Gray and Charcoal)  
Split-face textured face (or approved equal)

Kawneer Aluminum storefront (at windows and doors) Kynar finish to match "Pacific Blue"

#### **Clearwells:**

Brick – to match above

Precast Concrete Trims – to match above

Stucco (Hard Coat) – Medium Sand finish –

Color:

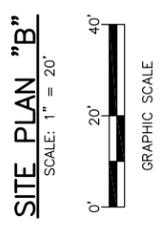


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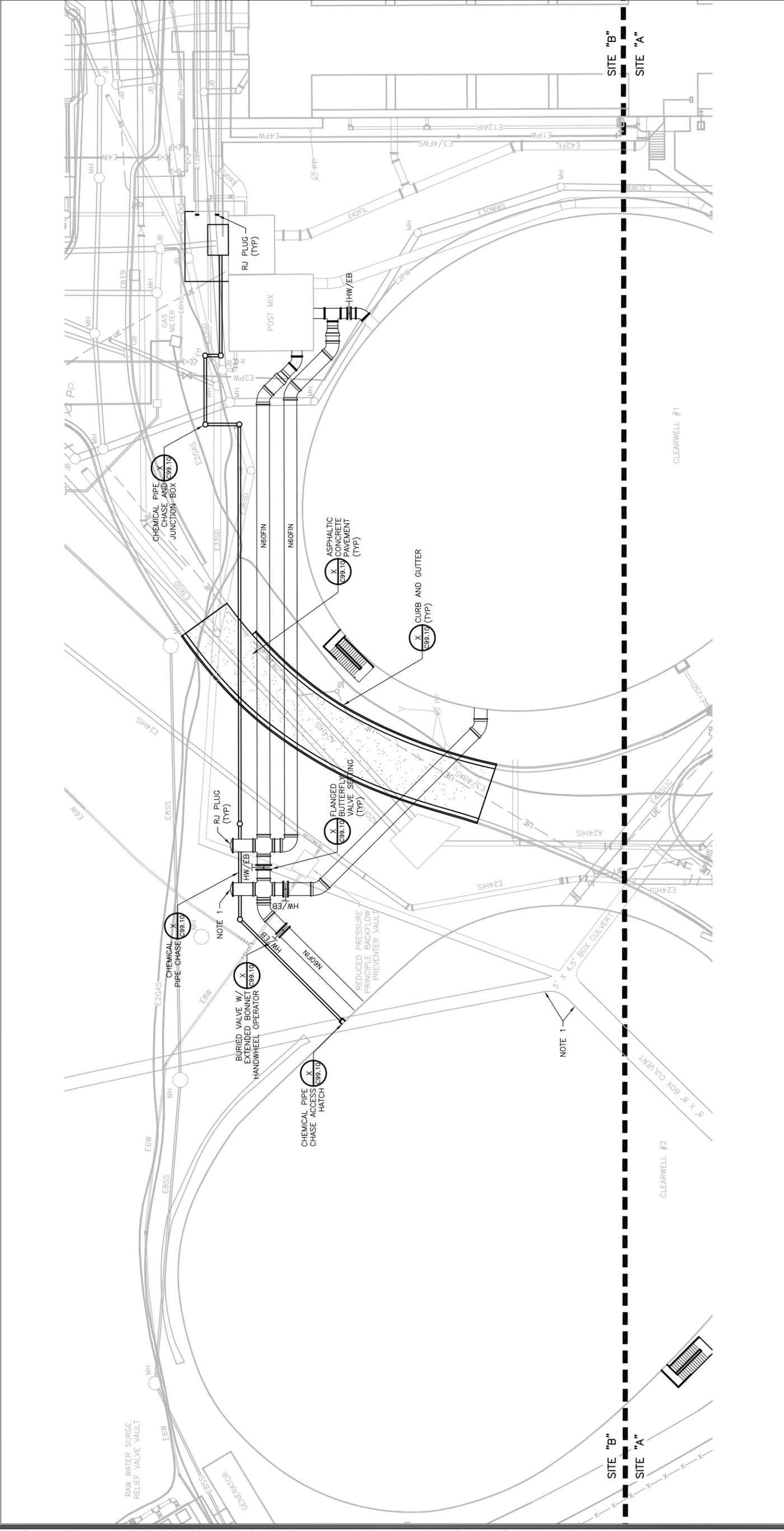
Or Dove Gray (113) by Parex

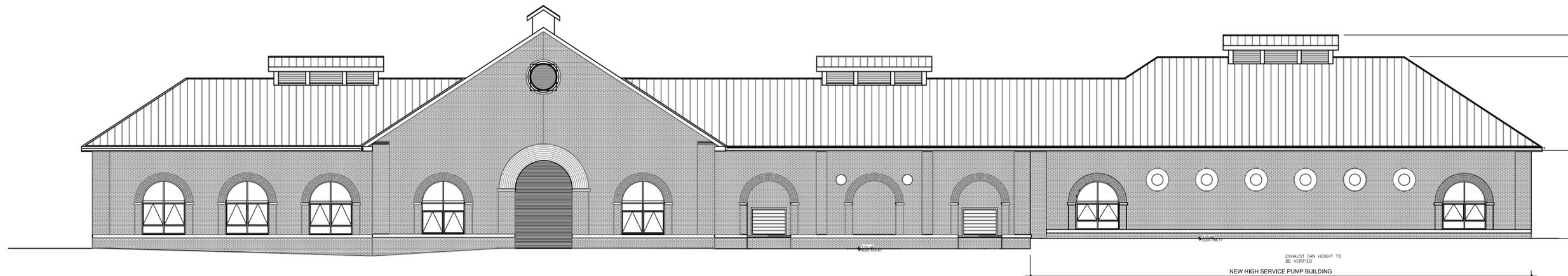
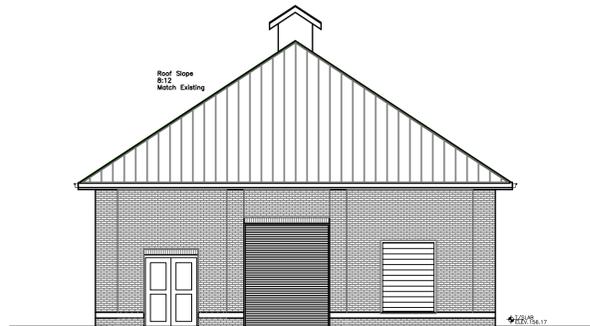
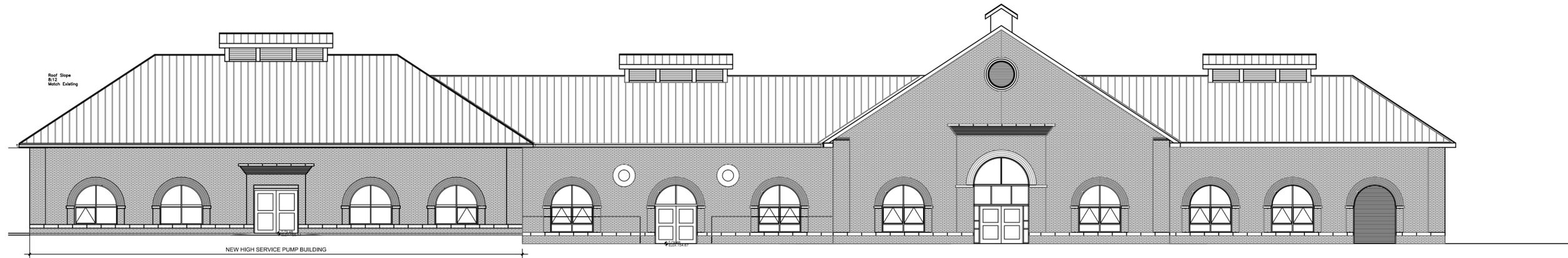


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- NOTES:
1. SIZE AND LOCATION OF EXISTING BOX CULVERT SHOWN IS APPROXIMATE.
  2. FIELD VERIFY EXISTING CONDITIONS OF ALL EXISTING PIPING. PROVIDE ALL FITTINGS, SLEEVES, ADAPTERS AND APPURTENANCES NECESSARY FOR MAKING CONNECTIONS TO EXISTING PIPING.





**1 High Service Pump Room #2 - Upper Level Plan**  
**A1.1** Scale: 1/4" = 1' - 0"

**McCreary/Snow Architects, PA**  
 Architects and Planners  
 P.O. Box 11143  
 3111 Devine Street (29205)  
 Columbia, South Carolina 29211  
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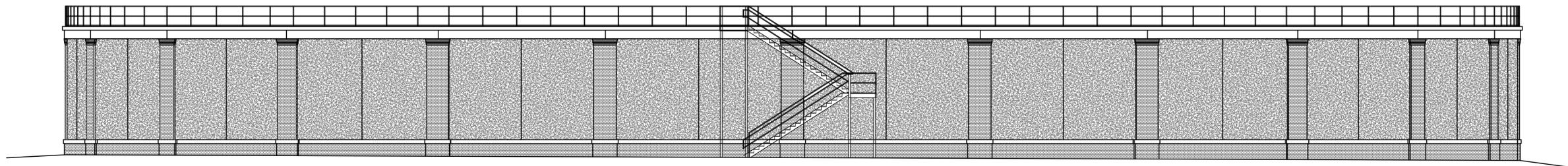
SHEET TITLE: OVERALL BUILDING ELEVATIONS  
 DATE: FEB 2016 / SCALE: AS SHOWN

PROJECT: IMPROVEMENTS TO THE CANAL WATER TREATMENT PLANT CLEARWELL AND HIGH SERVICE PUMP STATION UPGRADE FOR THE CITY OF COLUMBIA, S.C.  
 RICHLAND COUNTY SOUTH CAROLINA

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| .DWG NAME               | SHEET<br>A2.1 |
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| PROJECT NO.<br>46422040 |               |
| FILE NO. 23-10-23       |               |

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**1** Clearwell #2 - West Elevation  
**A2.7** Scale: 3/32" = 1' - 0"

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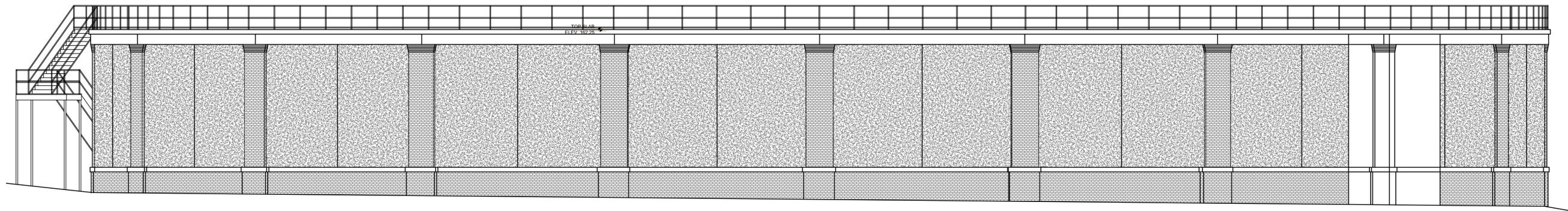
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CLEARWELL #2  
FRONT ELEVATION  
DATE: FEB. 2016 SCALE: AS SHOWN

PROJECT  
IMPROVEMENTS TO THE  
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TREATMENT PLANT  
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FILE NO. 23-10-23

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**1** Clearwell #1 - Front Elevation  
**A2.6** Scale: 1/8" = 1' - 0"

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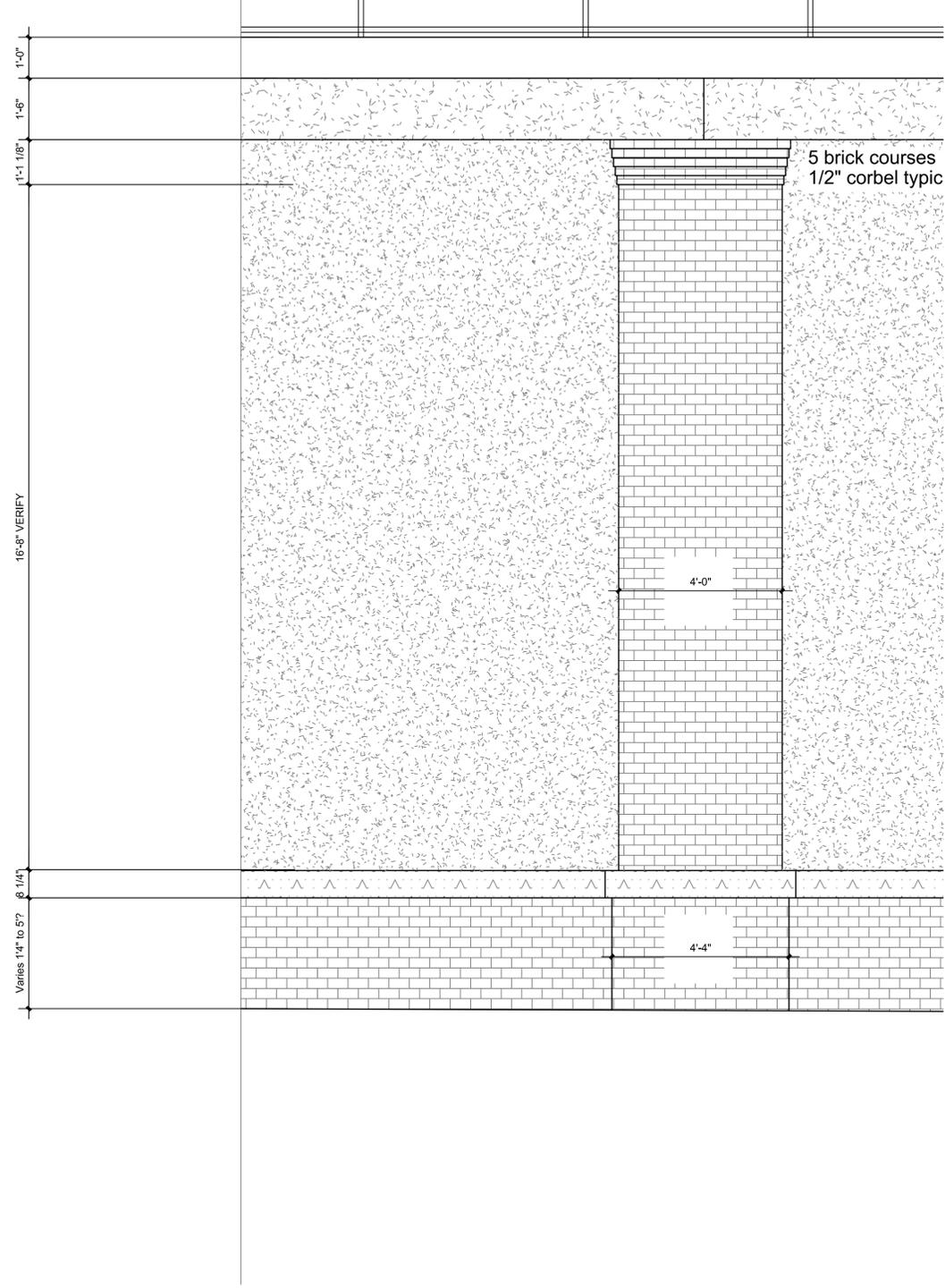
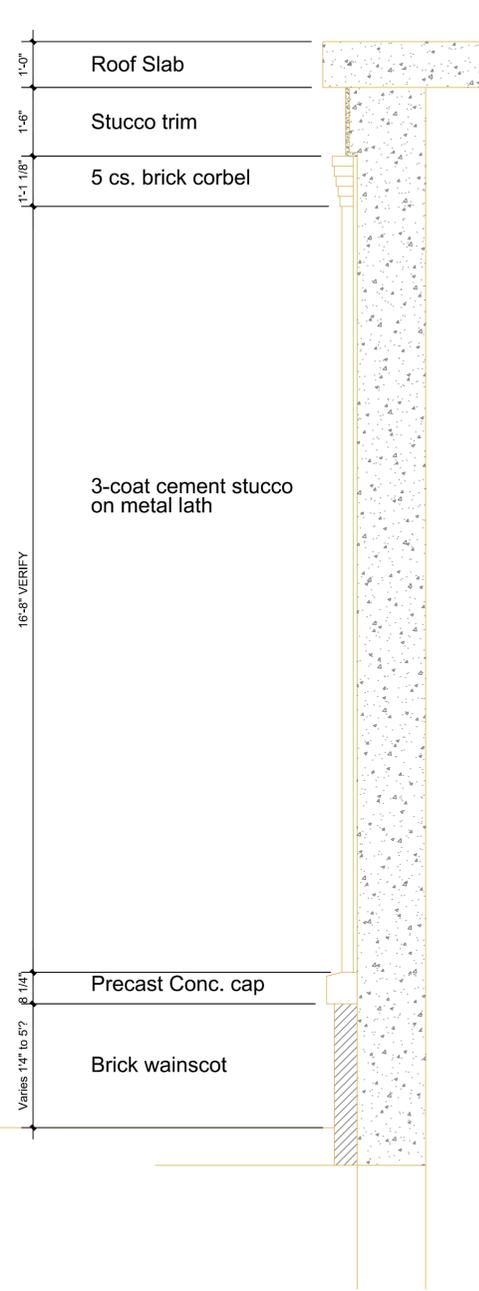
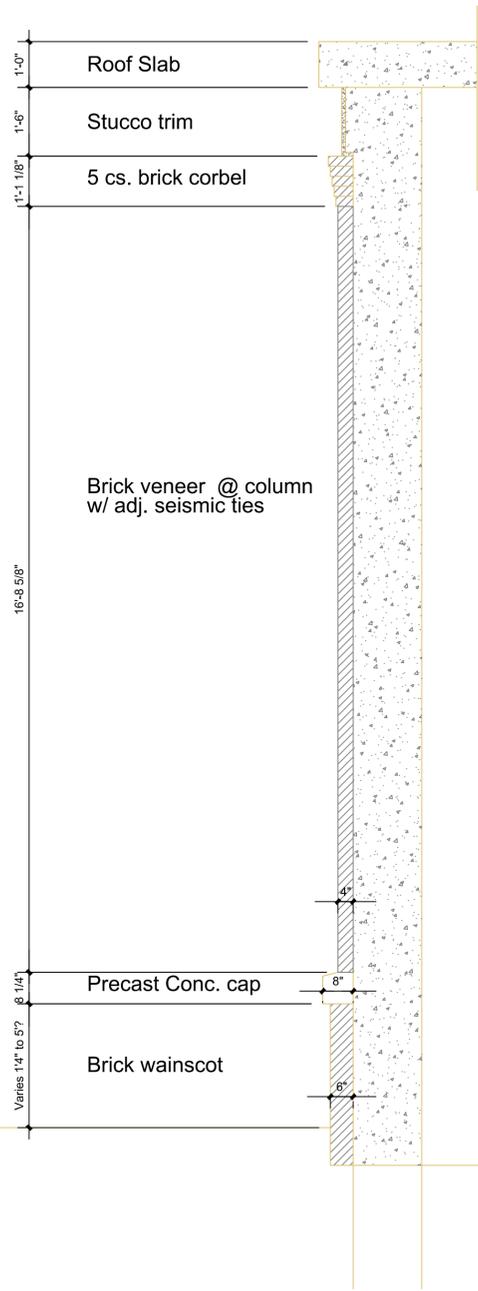
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CLEARWELL #1  
FRONT ELEVATION  
DATE: FEB. 2016 SCALE: AS SHOWN

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IMPROVEMENTS TO THE  
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TREATMENT PLANT  
CLEARWELL AND HIGH SERVICE  
PUMP STATION UPGRADE  
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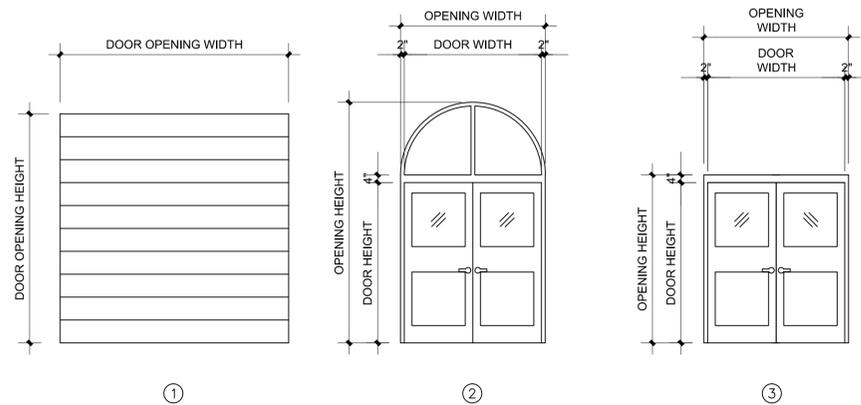
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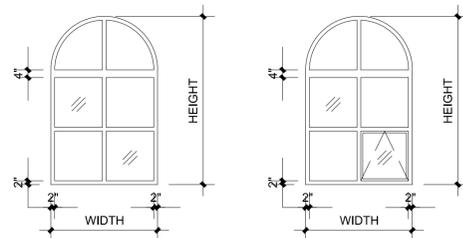
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**DOOR ELEVATIONS**

SCALE: 1/4" = 1'-0"



ROMAN ARCH - FIXED OR OPERABLE LITES - STOREFRONT

**WINDOW ELEVATIONS**

SCALE: 1/4" = 1'-0"



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DATE: DEC 2015 SCALE: AS SHOWN

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