

D/DRC Case

1504-1516 Williams Street; 401 Hampton Street; 9 & 21 Science Alley

City Center Design/Development District

TMS: 09009-14-22, -23, -24, -25, -26, -27, -28, -31



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
EVALUATION SHEET
Case #1

ADDRESS: 1504-1516 Williams Street; 401 Hampton Street; 9&21 Science Alley

APPLICANT: Wes Taylor, architect

TAX MAP REFERENCE: 09009-14-22, 23, 24, 25, 26, 27, 28, 31

USE OF PROPERTY: vacant building

REVIEW DISTRICT: City Center Design/Development District (-DD)

NATURE OF REQUEST: Request for Certificate of Design Approval for new construction. City Center Design/Development District

PROJECT SUMMARY:

This site is at the northeast corner of Williams and Hampton Street. The property has been rezoned to become part of the Canalside Planned Unit Development. The PUD language for this Parcel 7 is included in the packet.

STAFF COMMENTS:

5.2 Architectural Style or Theme & 5.3 Building Mass and Organization

- *No predetermined architectural style or design theme is required in Columbia's City Center; however, the design of a building should be compatible with its function and with its surroundings (context)... The height and scale of new buildings within City Center should complement existing structures while providing a sense of human scale and proportion.*

The building design is fairly straightforward, with large brick bays and rows of windows, consistent with its use as a storage warehouse. The height of the building is under the 50' allowed by the PUD zoning and appropriate for the surrounding context.

5.3.1 Building Height

- *Except for areas where existing structures are predominantly single story, the most fundamental guidance for building heights in City Center is that the minimum height for any new building in the district should typically be two stories, even if the building contains only one functional story (e.g., a Single-story, high-ceilinged commercial building). Low profile office buildings, commercial buildings, and residences will not yield the density, urban scale, and character desired for City Center, and should, therefore, be discouraged.*

The building height and scale provides an appropriate massing for this urban parcel.

5.3.2 Façade Proportion and Rhythm

- *The characteristic proportion (relationship of height to width) of existing façade elements should be respected in relation to new development.*

The context of existing buildings varies widely; the most appropriate adjacent context is across Williams Street at Canalside, which has long 3-4 story buildings divided into bays to break up the massing.

5.3.3 Proportion of Openings

- *Maintain the predominant difference between upper story openings and street level storefront openings (windows and doors). Usually, there is a much greater window area (70 percent) at the storefront level for pedestrians to have a better view of the merchandise displayed behind as opposed to upper stories which have smaller window openings (40 percent).*

The building has been designed to orient the circulation space on the perimeter, allowing for lots of windows on the upper floors. The first floor has larger window openings which are more consistent with storefront configurations.

5.3.5 Wall Articulation

- *Long, blank, unarticulated street wall facades should not be allowed. Facades should instead be divided into a series of structural bays (e.g., masonry piers which frame window and door elements). This subdivision of the wall plane establishes a rhythm similar to many existing older buildings found in City Center.*

The building is divided into structural bays with projecting and recessed elements.

- *Monolithic street wall facades should be "broken" by vertical and horizontal articulation (e.g., sculpted, carved or penetrated wall surfaces defined by recesses and reveals). These features are characterized by: (a) breaks (reveals, recesses) in the surface of the wall itself; (b) placement of window and door openings; or (c) the placement of balconies, awnings, and/or canopies.*
- *Large unbroken facade surfaces should be avoided, especially at the storefront level. This can be achieved in a number of ways including: (a) dividing the facade into a series of display windows with smaller panes of glass; (b) constructing the facade with small human scale materials such as brick or decorative tile along bulkheads; (c) providing traditional recessed entries; (d) careful sizing, placement and overall design of signage; and (e) providing consistent door and window reveals.*

The building has large window openings on both street-facing facades. The windows are recessed to provide a reveal of 4". Cast stone detailing has been added to help articulate the windows.

5.3.6 Roofs and Upper Stories

- *Roofs may be flat or sloped. The visible portion of sloped roofs should be sheathed with a roofing material complementary to the architectural style of the building and other surrounding buildings.*

The large, decorative cornice and brackets detail makes a strong statement at the top of the building.

- *Roof mounted mechanical or utility equipment should be screened. The method of screening should be architecturally integrated with the structure in terms of materials, color, shape and size. Equipment should be screened by solid building elements (e.g., parapet wall) instead of after-the-fact add-on screening (e.g., wood or metal slats).*

Staff should review any roof-mounted utility equipment prior to permitting.

5.4 Site Planning

- *The manner in which a building and its accessory uses are arranged on a site are critical to how the building contributes to the overall quality of the built environment. This section outlines a series of site planning guidelines that will help establish a human scale, pedestrian-friendly quality in City Center.*

5.4.1 Setbacks

- *In order to preserve the scale of the pedestrian environment and continue to foster the urban character of the City Center, the Design/Development District will have no minimum required front yard setback. The maximum setback for any new structure should be the average of the existing setback in the block and adjacent blocks where the project is to be constructed. In situations where the average is not established, the setback will be ten feet.*
- *Although the criteria for setbacks will be the same throughout the City Center Design/Development District, some areas of the district have a more urban commercial character and others maintain a residential character. Each project still should be evaluated in context with its surroundings in order to properly decide whether a minimum or maximum setback should be used so that the overall character of the street is preserved.*

The building is built close to the property line, within the ten foot maximum setback allowed by the PUD and consistent with the City Center Design Guidelines.

5.4.2 Street Orientation

The way that a structure is oriented to the street plays a big role in establishing the overall feeling of the street. As a general rule, buildings should be oriented so as to engage and maintain pedestrian interest. Following are specific directions on how this can be accomplished.

- *Storefronts should be designed to orient to the major street frontage. While side or rear entries may be desirable, the predominant major building entry should be oriented toward the major street,*
- *The front building facade should be oriented parallel to the street or toward a major plaza or park.*
- *Buildings on corners should include storefront design features for at least 50 percent of the wall area on the side street elevation.*

The building provides adequate windows along the sidewalks, and includes the programmed office space on the Williams Street sidewalk. The building is appropriately oriented parallel to both streets.

5.6 Landscaping

- *The streetscape, which is installed and maintained by the public sector, is the most important landscape element in City Center, as described in Chapter 4. There will, however, be many opportunities for landscaping in conjunction with private development...These guidelines supplement the guidelines presented in Chapter 4; they do not replace them. In other words, private development projects incorporating the features addressed in Chapter 4 (e.g. parking structures and lots) will have to comply with the Chapter 4 guidelines related to those features.*
- *Street trees and other streetscape improvements are planned for all streets in City Center. Where new development is planned for an area not scheduled for installation of streetscape improvements within the succeeding year, the developer may be required to provide them. The City will provide design specifications on request; these specifications (including dimensions, materials, and planting methods) must be followed and will be subject to inspection.*

The building site will fully comply with the City's landscape ordinance. The applicant is providing trees along both Williams Street and Hampton, as well as providing a new sidewalk along both street frontages, with a landscaped buffer between the sidewalk and the curb.

4.4 Service and Loading Areas

- *Service and loading areas should be located to minimize their visibility from public streets. On blocks with multiple sides facing gateway streets, individual determinations of the more visually significant frontages will be required. Refuse containers and actively-used service and loading areas must be screened from view by the buildings they serve or by solid masonry walls which are designed as an integral part of the building, finished with compatible materials and with a minimum height of six feet. If screening walls are located adjacent to public use areas, they must be buffered from view with a landscaped strip at least eight feet wide. Wherever possible, ground-mounted mechanical equipment should be located within a screened service area. Where this is not feasible, mechanical equipment should be located where it is not visible from streets, sidewalks and adjacent properties. Areas used for occasional service or loading (less than one day per week, or less than one hour per day) may be treated according to the guidelines for surface parking lots.*

The entire parking area could be considered loading due to the use of the building as a storage unit. The parking lot has been continuously screened with evergreen screen hedges on all sides that will be visible from the public right-of-way.

5.7 The Storefront

- *This section focuses on establishing “storefronts” that will help revitalize and unify City Center’s commercial street frontages. It should be noted that the term “storefront” does not necessarily imply that a building has a retail commercial use; storefronts are simply the sides of the building that face the street and connect with the sidewalk.*

The sides of the building that face the street have sidewalks adjacent and provide continuous window openings to address the pedestrian realm.

5.7.1 Storefront Composition, Accessories, and Details

Entries and Doorways

- *The main entry to a building, leading to a lobby, stair or central corridor, should be emphasized at the street to announce a point of arrival in one or more of the following ways: flanked columns, decorative fixtures or other details; recessed within a larger arched or cased decorative opening; covered by means of a portico (formal porch) projecting from or set into the building face (refer to zoning guidelines for allowable projections); punctuated by means of a change in roofline, a tower, or a break in the surface of the subject wall... Buildings situated at the corner of a public street should provide a prominent corner entrance to street level shops or lobby space, in a manner consistent with Main Entries, as described above. Commercial storefront entries are typically recessed and/or sheltered by a covered arcade structure, canopy, or awning...*

The entry to the office is located at the corner of Williams Street, adjacent to the parking lot. This provides storefront and access from the parking lot as well as from the public sidewalk. There is a canopy over the storefront windows at this location to emphasize the entry.

Door and Window Design

- *Doors to retail shops should contain a high percentage of glass in order to view the retail contents... Use of clear glass (at least 88 percent light transmission) on the first floor is recommended. Storefront windows should be as large as possible, and no closer than 18 inches from the ground (bulkhead height). By limiting the bulkhead height, the visibility to the storefront displays and retail interior is maximized. Maximum bulkhead heights for new construction should be 36 inches.*

Windows along the first floor are clear glass with a brick bulkhead.

5.7.2 Exterior Walls/Materials

- *The design elements for exterior walls involve two aspects- color and texture. If the building's exterior design is complicated with many design features, the wall texture should be simple and subdued. If the building design is simple (perhaps more monolithic), a finely textured material, such as patterned masonry, can greatly enrich the building's overall character.*

Recommended Materials

- *Storefront materials should be consistent with the materials used on significant (historically correct) adjacent buildings. The following materials are considered appropriate for buildings within City Center. The number of different wall materials used on anyone building should, however, be kept to a minimum (ideally, two or less).
Building Walls: clear glass, glass block (storefront only)...stucco/exterior plaster (smooth trowled), new or used face-brick, cut stone, rusticated block (cast stone)...*

The primary building materials of red brick with aluminum storefront are consistent with buildings in the Vista. Cast stone detailing and the parapet add contrast and articulation.

5.8 The Upper Façade

- *The upper façade of a building is distinct from the street-level storefront, and the design qualities differ. The upper façade consists of the following components: the cornice and fascia that cap the building front; the building's upper stories; the windows, which provide articulation and interest to the upper architecture; and the piers, which extend to the ground level to visually support the façade and frame the storefront. The more massive, solid architecture of the upper façade gives the building its feeling of substance and expresses its architectural quality and character. As a result, the design treatment, materials, and conditions of the upper façade play an important role in defining the architectural style of the building and in relating it to neighboring buildings in the block face. The following paragraphs provide general guidance for the development and/or renovations of the upper façades of buildings in City Center.*

The proportions of the building's upper façade are appropriate, and the design has a distinct base, middle and top.

5.8.1. Cornice and Fascia

- *A cornice or fascia creates a strong roof line and gives a finished appearance to the building façade... The new cornice or fascia should be designed in proportion with the overall mass of the building.*

The cornice is prominent and adds a strong stylistic element to the building.

5.8.2 Wall Materials (Upper Façade)

- *Wall materials should be selected to coordinate with neighboring structures and to complement the design of the storefront.*

5.8.3 (Upper Façade) Windows

- *Upper story window should create a sense of scale and add articulation and visual interest to the upper façade.*

The wall materials and windows on the upper façade are consistent with the overall building design and add interest and articulation to the building design.

STAFF RECOMMENDATIONS:

Staff finds that the proposal substantially meets the design guidelines and recommends approval of the request for a Certificate of Design Approval.



**CITY COUNCIL
ZONING MAP AMENDMENT CASE SUMMARY**

MAJOR AMENDMENT TO (CANALSIDE) A PUD-C/DD PLANNED UNIT DEVELOPMENT-COMMERCIAL/DESIGN DEVELOPMENT OVERLAY DISTRICT).

1511 WILLIAMS STREET, 600 CANALSIDE STREET, N/S CANALSIDE STREET (MULTIPLE PARCELS), 610 DEPOT STREET, 1625 WILLIAMS STREET, 463 MACDOUGALL STREET, 485 MACDOUGALL STREET, N/S IRWIN PARK CIRCLE, E/S IRWIN PARK CIRCLE, 361 TAYLOR STREET, 638 TAYLOR STREET, 535 DEPOT STREET, 645 CANALSIDE STREET, TMS#09005-03-01, -02, -03 TO -06, -15, -18, -07, -08, -09, -10, -11, -12, -13, -14, -16, -17

**REZONE FROM C-1/DD (OFFICE AND INSTITUTIONAL DISTRICT)
TO PUD/DD (PLANNED UNIT DEVELOPMENT DISTRICT)**

1511 HUGER STREET, 419 HAMPTON STREET, 4 SCIENCE ALLEY, 21 SCIENCE ALLEY, 9 SCIENCE ALLEY, 1504 WILLIAMS STREET, 401 HAMPTON STREET, 1510 WILLIAMS STREET, 1512 WILLIAMS STREET, AND 1516 WILLIAMS STREET, S/S HUGER STREET, TMS# 09009-14-11, -14, -15, -22, -23, -24, -25, -26, -27, -28, -31

Zoning Public Hearing – December 1, 2015 at 7:00 PM
City Council Chambers, 3rd Floor, 1737 Main Street, Columbia, SC 29201

Subject Property:

1511 Williams Street, 600 Canalside Street, N/S Canalside Street (multiple parcels), 610 Depot Street, 1625 Williams Street, 463 MacDougall Street, 485 MacDougall Street, N/S Irwin Park Circle, E/S Irwin Park Circle, 361 Taylor Street, 638 Taylor Street, 535 Depot Street, 645 Canalside Street, TMS#09005-03-01, -02, -03 to -06, -15, -18, -07, -08, -09, -10, -11, -12, -13, -14, -16, -17; request major amendment to (Canalside) a PUD-C/DD Planned Unit Development-Commercial/Design Development Overlay District). **1511 Huger Street, 419 Hampton Street, 4 Science Alley, 21 Science Alley, 9 Science Alley, 1504 Williams Street, 401 Hampton Street, 1510 Williams Street, 1512 Williams Street, and 1516 Williams Street, S/S Huger Street, TMS# 09009-14-11, -14, -15, -22, -23, -24, -25, -26, -27, -28, -31; request to rezone from C-1/DD (Office and Institutional District/Design Development Overlay District) to PUD-C/DD (Planned Unit Development-Commercial/Design Development Overlay District).**

Council District:

2

Proposal:

Rezone parcel from C-1/DD to PUD/DD

Applicant:

Ryan Hyler, Land Holdings Two, LLC

Current Land Use Plan:

UCAC -3

Proposed Land Use Plan

UCAC-3

Current Zoning:

C-1/ DD

Proposed Zoning:

PUD/ DD

Present Use:

Developed/Undeveloped

Proposed Use:

Parcel 7 (Amended area)
See Applicant Request

CASE HISTORY

Staff Recommendation		Major Amend. To PUD and C-1/DD to PUD/DD	APPROVE
PC Recommendation	10/05/15	Major Amend. To PUD and C-1/DD to PUD/DD	CANCELLED/WEATHER
PC Recommendation	11/02/15	Major Amend. To PUD and C-1/DD to PUD/DD	APPROVE (7-0)
Zoning Public Hearing	12/01/15	Major Amend. To PUD and C-1/DD to PUD/DD	PENDING

APPLICATION REQUEST

The proposal is a major amendment to the existing PUD to add additional land to the PUD and associated PUD language. The current parcel is proposed to be rezone the C-1/DD to PUD/DD. The applicant is requesting to enlarge the PUD to add what is within documents referred to as Parcel 7 within the PUD document. This area is approximately 1.86 acres and is proposed to have the following classification: Single Family-Attached Residential, Commercial, Office, Multi-Story Self Storage, Retail, and Live Work. Height requirements would be a maximum of 50 feet, parking would be surface parking at rear of buildings, and fire suppression would be required for all buildings. The general layout of the development would consist of pedestrian sidewalks, and commercial storefront, parking access off Williams Street, and a Public Green Space/ future commercial residential development to the east of the multi-story self-storage building. The design of Parcel 7 has design guidelines that indicate that the exterior of buildings will be a combination of brick masonry panels, and stucco, glass reveals will be clear in order to provide life and movement to the building, Williams Street will have a storefront type face. Vinyl or similar material and EFIS will not be allowed. Building design will offer architectural interest to depth of façade changes along Williams and Hampton Street. Parking will be provided off of Williams and Hampton Streets behind building. As a low traffic generator the self-storage portion of the parcel will require 12-25 parking spaces based on final design.

Text Amendments to the PUD have occurred on Pages 2, 3, 11 and 12 in reference to the addition of Parcel 7.

CURRENT PARCEL CHARACTERISTICS/CONDITIONS

Currently, the total acreage of the associated parcels is 24.72 acres and is located at the corner of Williams and Hampton Streets. The area of the expanded PUD is 1.86 acres.

PLANS, POLICIES, AND LAND USE

The Columbia Plan 2018: Comprehensive Plan Land Use Classification

Subject parcel is designated “Urban Core Regional Activity Center (UCAC -3)” in *The Columbia Plan 2018* Future Land Use Map.

These developments are intense mixed-use business districts within the urban context. They may be adjacent to the central business district or found in outer areas of the city. They are primary destinations for work and play which attract people from more than a 20-mile radius or drive distance. The uses are built within the urban blocks and grid, and whole scale redevelopment of blocks or adaptive reuse of existing structures may occur in these areas. Their scale is large and may take up multiple city blocks. Their primary use is as a business district but high-intensity residential in mixed-use buildings is also appropriate.

Primary Types

- Small to Extra Large Business/Employment (incl. High-rise, excl. Flex)
- Multi-family Medium and High-rise Mixed-use

Secondary Types

- Multi-family Medium to High-rise
- Small to Large Flex
- Civic/Institutional
- Parking Structures

Tertiary Types

- Single-family Attached
- Cemeteries & Mausoleums
- Parking Lots

PROPOSED ZONING DISTRICT SUMMARY

The parcel is currently zoned C-1 (Office and Institutional District) in the City of Columbia. The proposed zoning is PUD –R (Planned Unit Development – Residential).

The intent of planned unit development districts is to derive the benefits of efficiency, economy and flexibility by encouraging unified development of large sites, while also obtaining the advantage of creative site design, improved appearance, compatibility of uses, optimum service by community facilities, and better functioning of vehicular access and circulation. It is the intent of this article to allow development of large sites subject to specific regulations concerning permitted uses, but only subject to regulations concerning lot area, building coverage, yard spaces and building height insofar as the city council shall deem appropriate to fulfill the intent of this article, upon presentation of certification from the owners, developers or other parties at interest in the development of such sites that they will adhere to development policies which will fulfill the intent of this article.

STAFF RECOMMENDATION

Staff recommends the planning commission recommend to Council the approval of the major amendment to the PUD and rezone the referenced parcels from C-1/DD to PUD/DD.

Design Objectives

- Buildings will create a strong street edge and embrace the public realm.
- Buildings will be compatible with their neighbors.
- Pedestrian activity and interaction will be encouraged.
- Buildings will be designed to be timeless.
- Buildings will respond to the Vista context while introducing other design motifs to the area.
- Streets will be designed to embrace pedestrian and vehicular movement. Street trees, decorative lighting, on-street parking and narrow travel lanes will be included.
- Shared parking will be encouraged for areas which include at least two uses that have different parking demand peaking characteristics. See The Urban Land Institute's study *Shared Parking* by Barton-Aschman Associates, Inc.
- The City Esplanade and City Parks will be designed as part of the overall project to seamlessly integrate with the built environment.

Parcel 7 Area Summary

Type of dwelling units allowed: Single-family attached residential, Commercial, Office, Multi-Story Self-Storage, Live/Work

Residential

Minimum lot size per dwelling unit: N/A

Maximum lot frontage: N/A

Minimum lot setback requirement for principal buildings and accessory buildings: 0'

Maximum building setback: 10'

Maximum lot occupancy restrictions for buildings: 100%

Allowable building height: 50'

Special conditions: See City of Columbia Zoning Ordinance

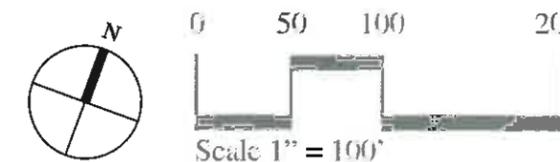
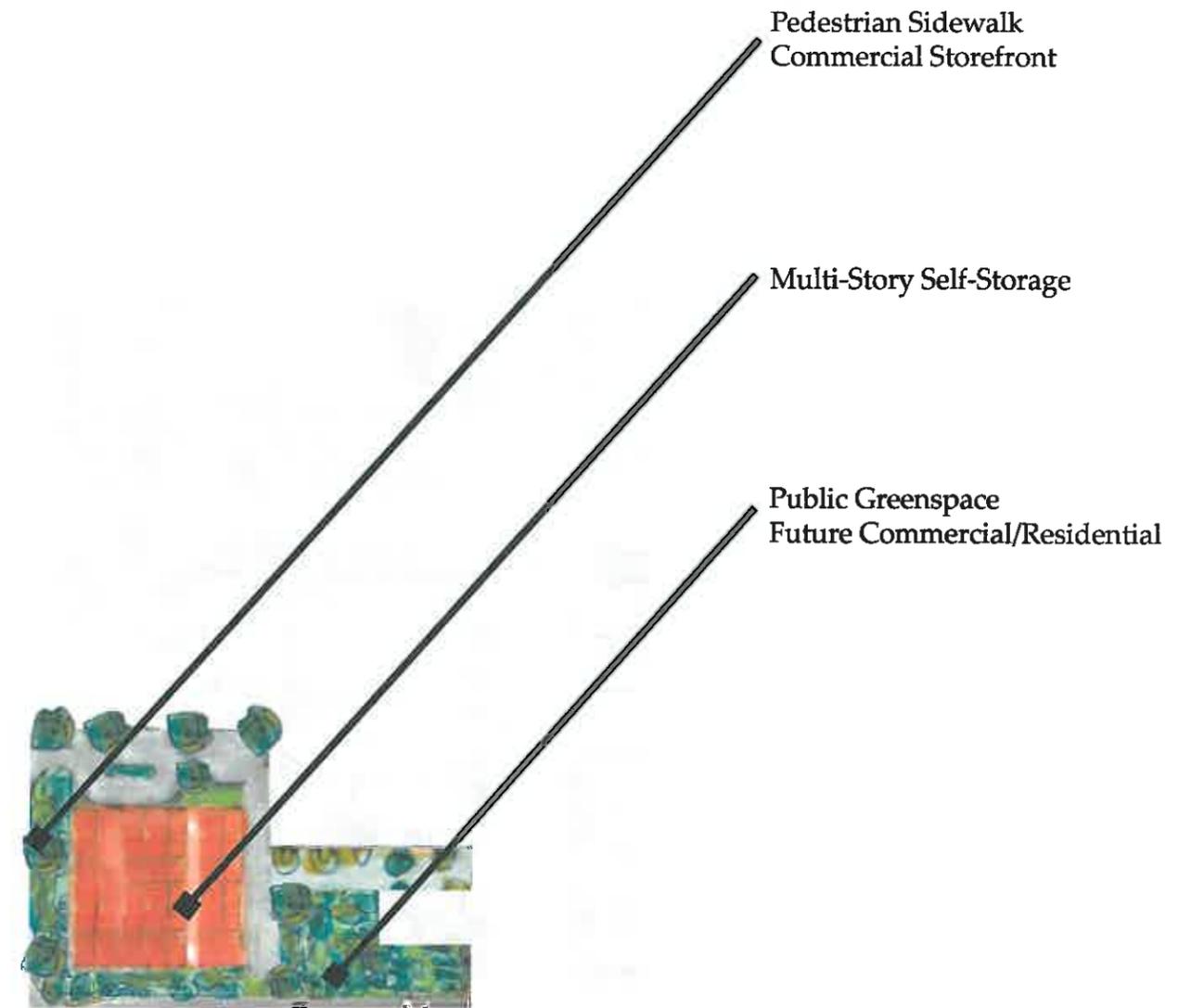
Commercial

Minimum building setbacks: 0' **Maximum building setback:** 10'

Allowable building height: See Building Height and Massing Diagram

Maximum lot occupancy for buildings: 100%

Special conditions: On-street dining seating



Building Types Summary

Area 1: Williams Street

Live/Work-style units and flats above retail/commercial

- Live/Work units are designated along the Williams St. boundary
- Units will be 3 story comprised of 1 floor "work" space and 2 floors living above
- Ceiling heights can vary to further differentiate units/building heights
- Garage space to be located within the first floor space off alley
- Work area to have storefront-type façade
- Residential to be varying colors of brick with accent materials; balconies above the sidewalk should be considered on select units
- Williams St. façade should vary in color/texture to provide enhanced character
- Williams/Hampton corner should receive special treatment
- Taylor/Williams corners should receive special treatment under this scenario
- Consider marquee signage at corner of building



Area 2: Neighborhood

Single-family detached homes

- All lots will be alley served
- Building heights to be 2-3 story – max 50' to ridge or eave
- Accessory dwelling units over rear garages are encouraged
- Houses will have minimal setbacks and feature front porches/balconies
- Minimum first floor ceiling heights of 10'; 9' on upper floors
- Primary exterior building materials to be brick, hardi panel wood and stucco
- Vinyl or similar artificial material will not be permitted
- Design styles should reflect the unique character of Columbia's older, established neighborhoods (ie Shandon, Earlwood)
- Porches, balconies and stoops are to be featured
- Stairs, railings and canopies to complement the building character



Area 3: Boulevard District

Townhomes at primary entry

- 3 to 4 story buildings along Taylor at primary entry
- Additional parking to be included at rear on a portion of the single family lots fronting on Street A
- NOTE: If retail is located further west on Taylor, then buildings to be 3 story townhomes with individual entries off Taylor and parking similar to live/work
- Use of porches to animate the street façade
- Strong horizontals and sense of detail, but not extravagant
- Consistent setbacks
- Use compatible composition, scale and proportions
- Signage variety is encouraged



3-story townhomes.

- Architecture will reinforce the neighborhood concept of the development, with strong street walks punctuated by individual units stoops/porches, bay windows and entry gardens
- Units on the south side of Taylor will feature first floor flats with 2 to 3-story townhomes above. Small garden patios will be located at the front of the unit with 2nd story balcony above. 2nd floor units to be accessed via a common corridor along rear of the building
- Building materials to be primarily brick with wood trim and limestone accents. Other masonry materials are encouraged
- All parking to be accommodated in surface spaces at rear of buildings or in attached garages
- Entry stoops at least 18" above finished grade
- Bay windows are encouraged
- Recessed or covered entries recommended



Area 4: Hampton Street

3-Story Loft Multi-family

- True warehouse loft appearance – brick exteriors, large windows, simple metal exterior balconies
- Open breezeways for vertical circulation
- All parking to be surface at rear of building.
- Early Modernism; Bauhaus
- Minimal building details
- Timeless appearance through design
- Use existing Vista buildings for inspiration



Area 5: Park District

Multi-family with commercial/office

- Exteriors to be a combination of brick, masonry panels and hardi panels
- Exterior facades to alternate to create the appearance of multiple buildings
- First floor commercial/office space will feature prominent entries and front onto Taylor Street and neighborhood park
- Facades facing single family and multi-family on esplanade to be scaled proportionally.
- Combination of flat and pitched roofs
- Internal, structured parking shielded from street
- Facades to create a strong edge on all streets



Area 6: City Balcony

Multi-family

- 100' structure would be limited to either end of the esplanade and shall act to anchor the site
- Buildings will embrace the public esplanade and parks, and step back to create unique private spaces along the waterfront. This will create the opportunity for more views for a greater number of units
- Balconies to be both internal and external to the building/units depending on location



Area 7: Williams & Hampton Street

Multi-Story Self-Storage, Future Residential/Commercial

- Exteriors to be a combination of brick, masonry panels and stucco
- Glass reveals will be clear in order to provide life and movement to building.
- Williams Street will have storefront-type facade
- Vinyl or similar materials and EIFS will not be allowed
- Building design will offer architectural interest to depth in facade changes along Williams and Hampton Street
- Parking will be provided off of Williams and Hampton Streets, behind building. As a low traffic generator, the self-storage portion of the parcel will require 12-25 parking spaces based on final design.



SITE PHOTOS



Corner of Hampton & Williams St. looking NE



Hampton St. SE corner of site looking to NE corner of site



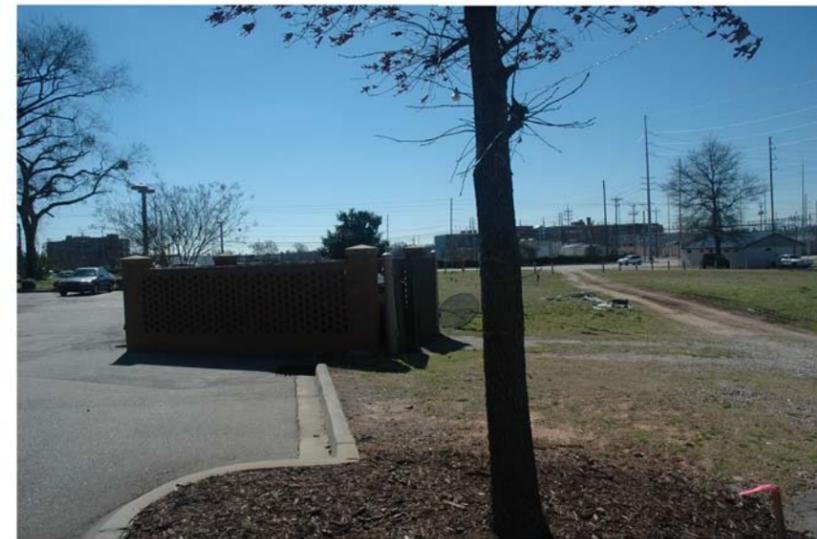
Hampton St. SE corner of site looking toward SW corner



NE corner of site looking W to Williams St.



North corner looking over site to South corner



North looking SE toward Hampton St.



NW Williams St. looking SE toward Hampton St.



SW Williams St. looking NW Williams St.

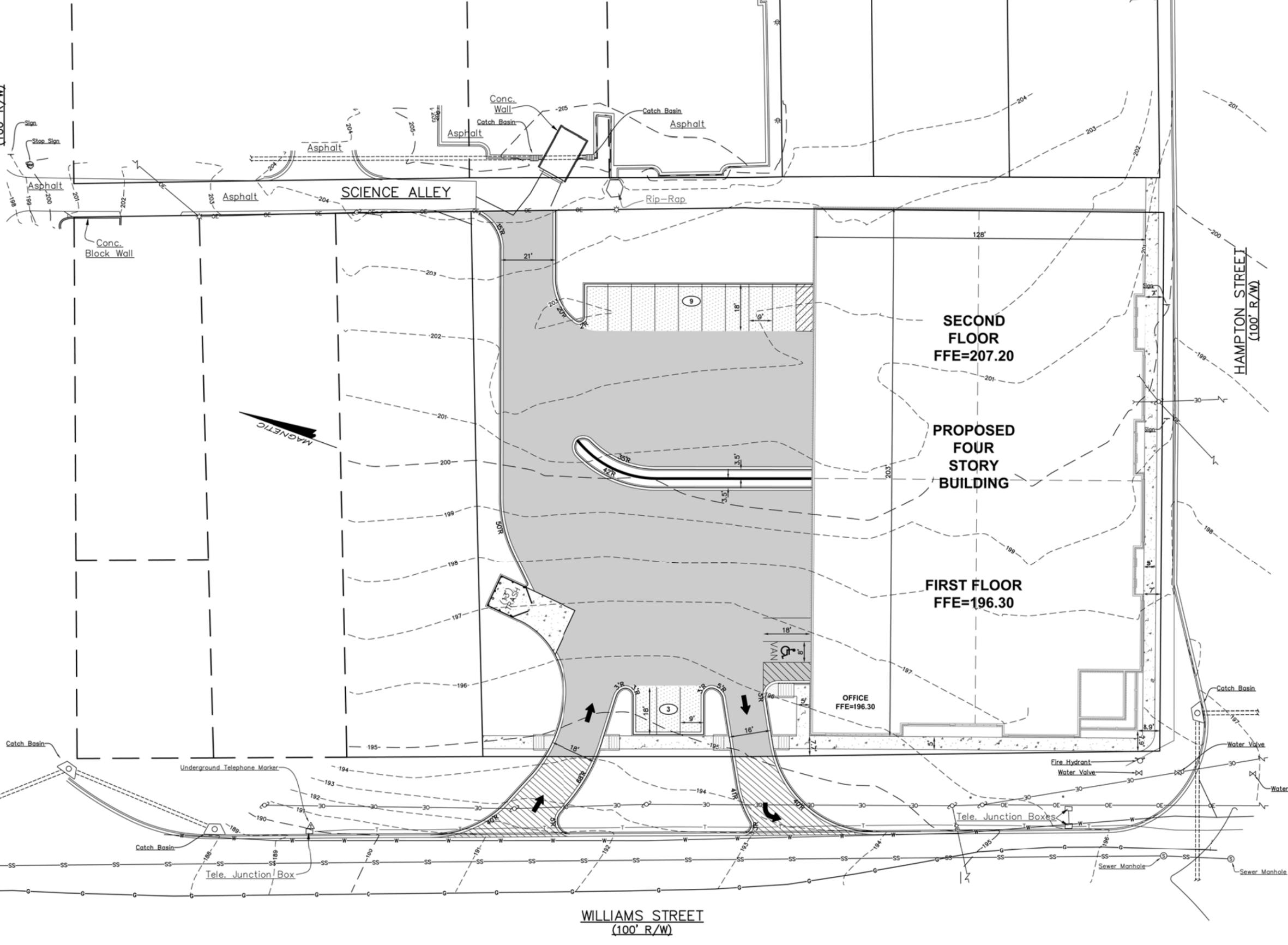
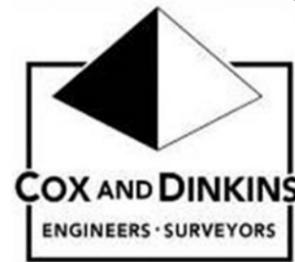


Williams St. middle of property line looking East toward Huger



LEGEND

-  STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT (VERIFY PAVEMENT SECTION WITH PROJECT GEOTECHNICAL ENGINEER) (SEE DETAIL)
-  HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT (VERIFY PAVEMENT SECTION WITH PROJECT GEOTECHNICAL ENGINEER) (SEE DETAIL)
-  PORTLAND CEMENT CONCRETE PAVEMENT (VERIFY PAVEMENT SECTION WITH PROJECT GEOTECHNICAL ENGINEER) (SEE DETAIL)
-  HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT IN SCOD RIGHT-OF-WAY (VERIFY PAVEMENT SECTION WITH PROJECT GEOTECHNICAL ENGINEER) (SEE DETAIL)
-  # NUMBER OF PARKING STALLS

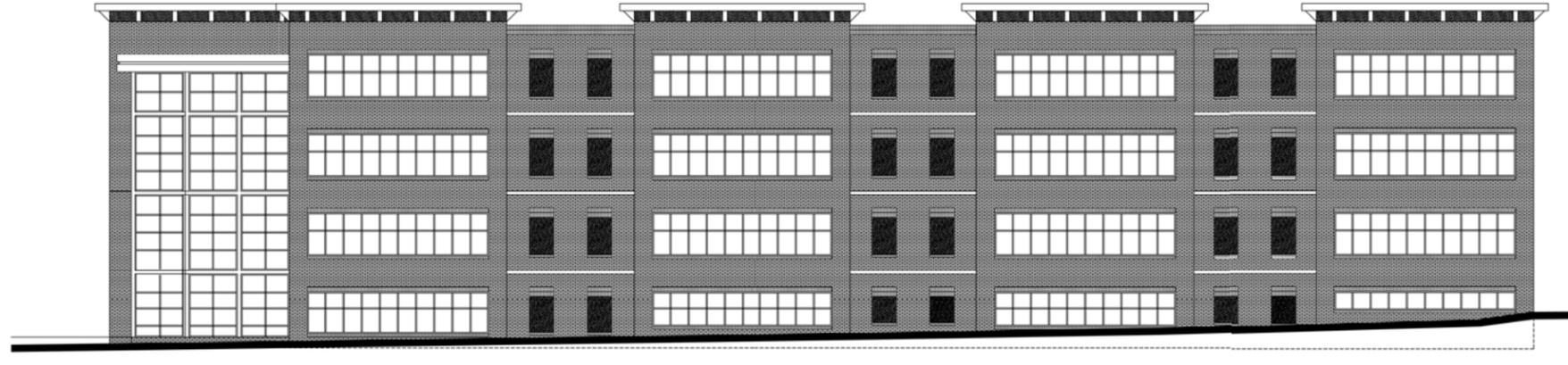


HALLMARK SELF STORAGE
COLUMBIA, SC

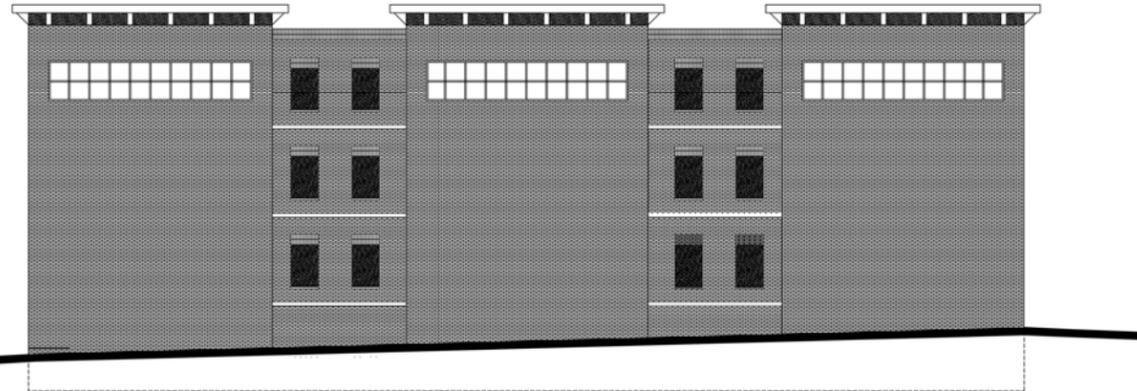
LⁱC ASSOCIATES
ARCHITECTS



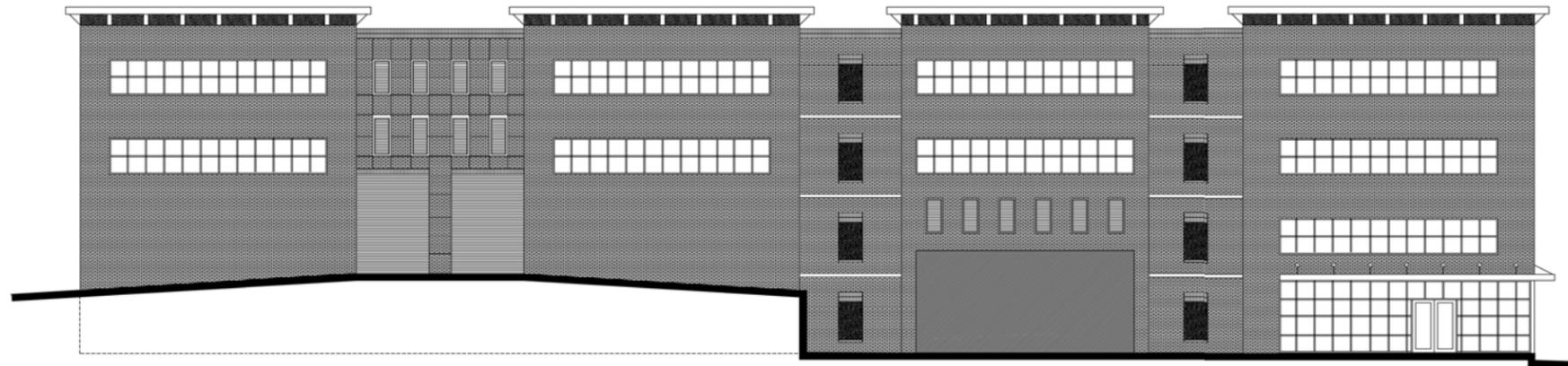
1 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



HALLMARK SELF STORAGE

COLUMBIA, SC

L*ti*C ASSOCIATES

A R C H I T E C T S

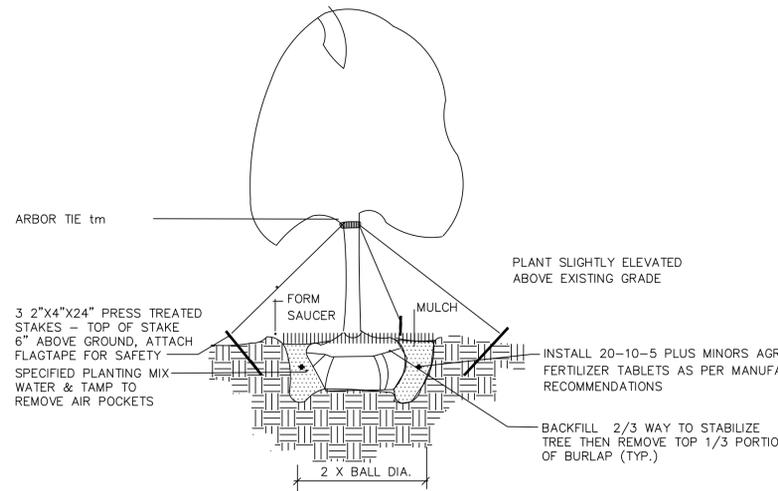
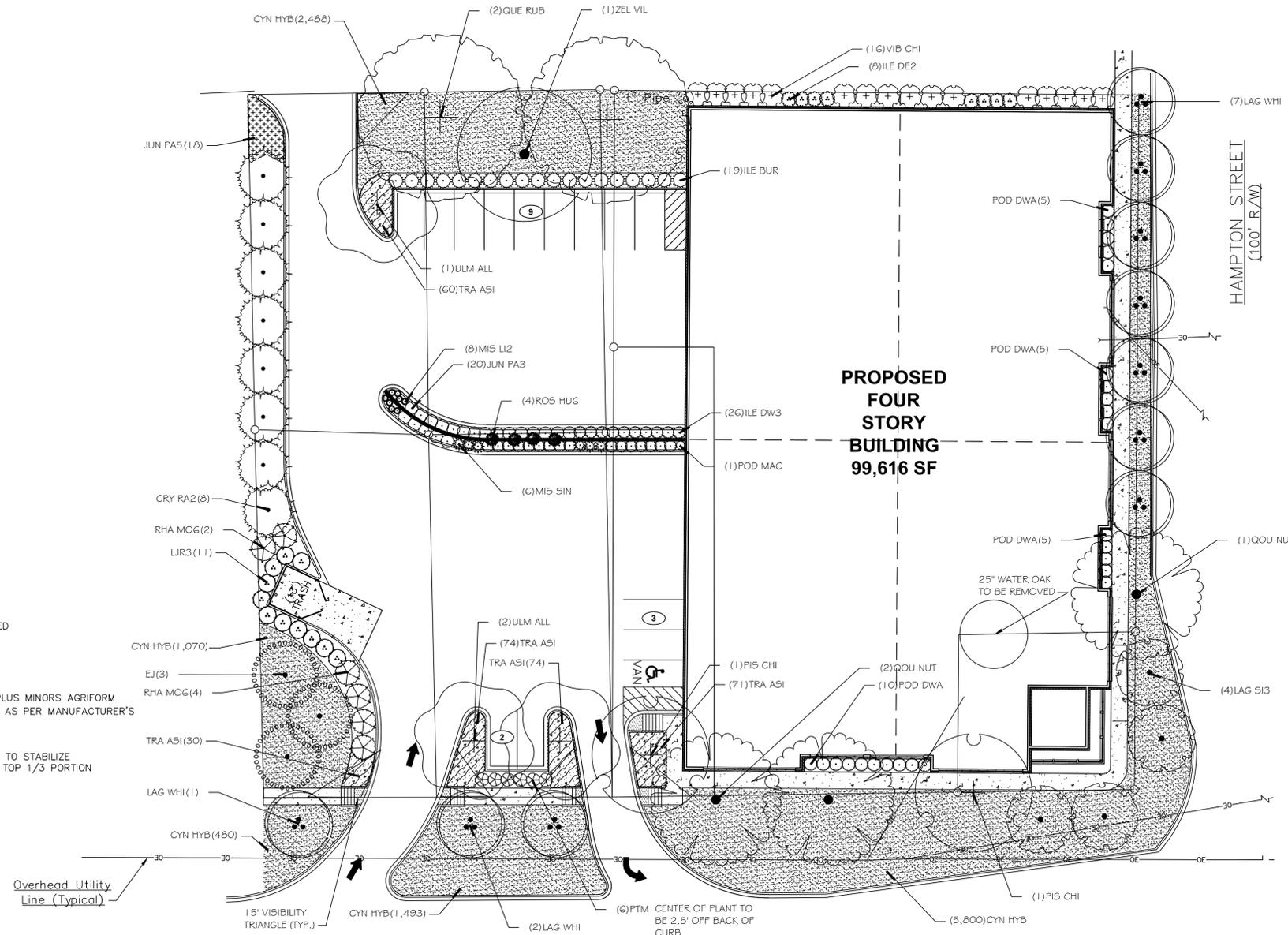
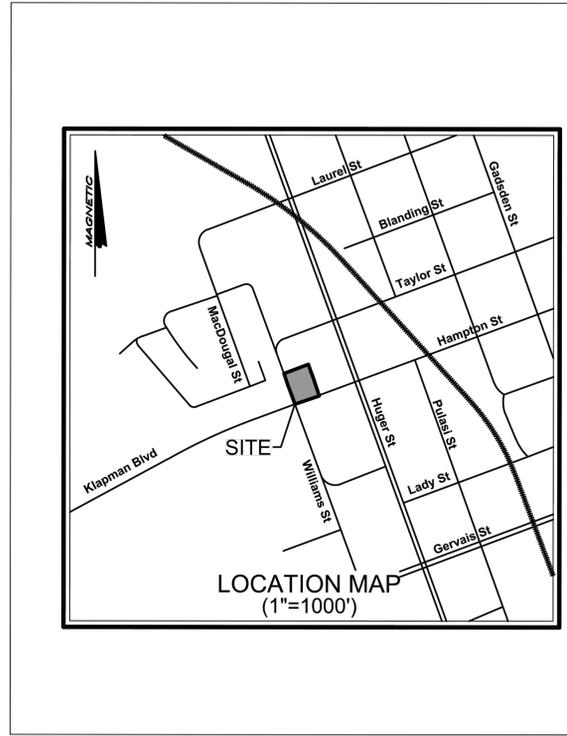


HALLMARK SELF STORAGE

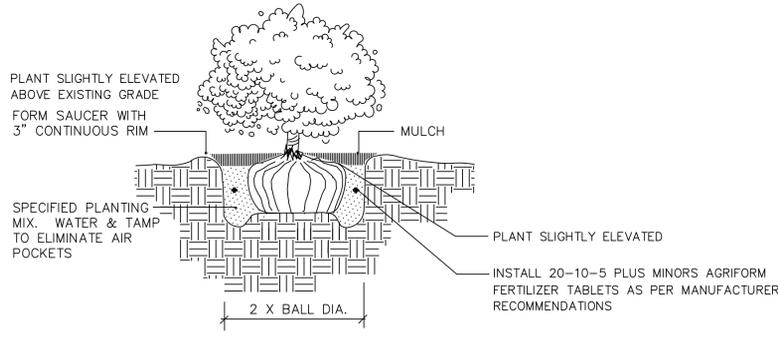
COLUMBIA, SC

LtC ASSOCIATES

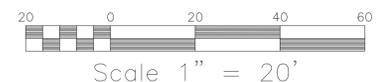
A R C H I T E C T S



TREE PLANTING - GUYING
SCALE: NOT TO SCALE



SHRUB PLANTING
SCALE: NOT TO SCALE



TILL ALONG ENTIRE LENGTH OF PLANTING STRIP

TILL TO THE WIDTH OF 24" AND DEPTH OF 4-6" ALONG THE ENTIRE LENGTH OF PLANTING STRIPS THEN PLANT AS PER DETAILS AND SPECIFICATIONS ON SHEET

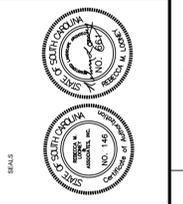
ELEVATION

PLAN VIEW

3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
Palmetto Utility Protection Service

ALL NEW PLANTINGS TO BE MECHANICALLY WATERED.

REBECCA M. LOONEY AND ASSOCIATES, INC. ASLA
LANDSCAPE ARCHITECTURE • HORTICULTURE
P.O. BOX 24, BALLENTINE, SOUTH CAROLINA 29002
(803) 240-7990 • rmllooney@rebeccamlooney.com



PROJECT TITLE:
CANALSIDE SELF STORAGE
LOCATED IN THE CITY OF COLUMBIA
RICHLAND COUNTY, SOUTH CAROLINA

DATE:
3/30/16

REVISION HISTORY:

DATE	NO.	ISSUE FOR	BY

DRAWING TITLE:
PLANTING PLAN AND DETAILS

SHEET NO.
L1.1