



D/DRC Case

3015 Amherst Avenue

Oakwood Court Architectural Conservation District

TMS: R13804-01-02

DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case # 7

ADDRESS: 3015 Amherst Avenue

APPLICANT: Dale Marshall, architect

TAX MAP REFERENCE: TMS#13804-01-02

USE OF PROPERTY: Residential

REVIEW DISTRICT: Oakwood Court Architectural Conservation District

NATURE OF REQUEST: Request Certificate of Design Approval for site improvement, a new fence in the side yards

FINDINGS/COMMENTS:

This is a c. 1940 Colonial Revival, two-story, brick-veneer single family home that is contributing to the district. It is a good example of the style, displaying a number of typical features such as a symmetrical façade, masonry exterior, side gable roof, and a decorative cornice with dentil molding. Over the past few years the owner has enlarged the house with a generous rear addition and construction a two-story garage, all after approval by the D/DRC.

The current request is for a new fence. The fence has already been constructed without a permit. Staff was unable to approve the fence because its design and height did not meet the guidelines; it has horizontal boards and a height of seven feet. Therefore, the fence was presented to the D/DRC at their January 14, 2016 meeting. They made a motion to defer the project to a subcommittee. At the subcommittee the applicant submitted a revised drawing that alters the existing fence with the application of vertical trim pieces, 6 inches wide, at the locations of the existing fence posts, and the addition of a 2"x6" treated cap rail, with an overall reduction of the height of the fence in the front portion of the yard to six feet. This retains the existing horizontal boards seen in the photographs but with the application of the trim that is indicated in the attached elevations.

PERTINENT SECTIONS FROM THE GUIDELINES:

SECTION 9: FENCES AND WALLS

PRINCIPLES

Fences and walls serve to delineate property lines and act as a barrier to distinguish between a yard, sidewalk, and street. Fences and retaining walls of brick or wood, simple in design, are appropriate for the district.

New fences and walls should respect traditional materials, design, and scale of those extant in the neighborhood; they should be consistent with those found on the block or in the district. They should complement the building and not obscure significant features. They should be no more than four feet on any street elevation and six feet on side and rear elevations.

GUIDELINES

a. Design a fence or wall so that it is compatible with the associated structure in design and materials.

While the use of wood is a material that is compatible with the associated structure, the design is not compatible and does not meet this guideline. This is a 1940 Colonial Revival house. The fence proposed is a Modern design that in no way reflects the principles of the house's design. As a Revival style house, the home is actually harkening back to the Colonial period; its design is meant to evoke an earlier, historic home style.

The proposed fence has a horizontal orientation of its main component, the boards making up the fence. Horizontal boards are inconsistent with historic wood fences, which have vertical boards. The horizontal boards are generally identified as a Modern fence type and are usually found with contemporary houses. As a clearly Modern fence, this proposal does not meet the guideline as the fence design is not compatible with the associated Colonial Revival house.

Staff located a 1940 newspaper article that suggested fences match their nearby homes in architectural style, calling out Colonial Revival fences in particular as a type that should have picket fences, or vertically oriented fences. This is further evidence that a more appropriate design for a fence for this style house would be a vertical board fence rather than horizontal.

b. Fences shall be no more than 4' in height in the front yard setback and no more than 6' in height on side and rear elevations.

The portions visible to the public right of way will be 6' in height, according to the current proposal.

c. The following materials are not permitted for fences or walls in the front or secondary front yard: chain link; concrete block unless stuccoed or veneered in brick; artificial siding material (ex. T-111, corrugated metal).

Not applicable.

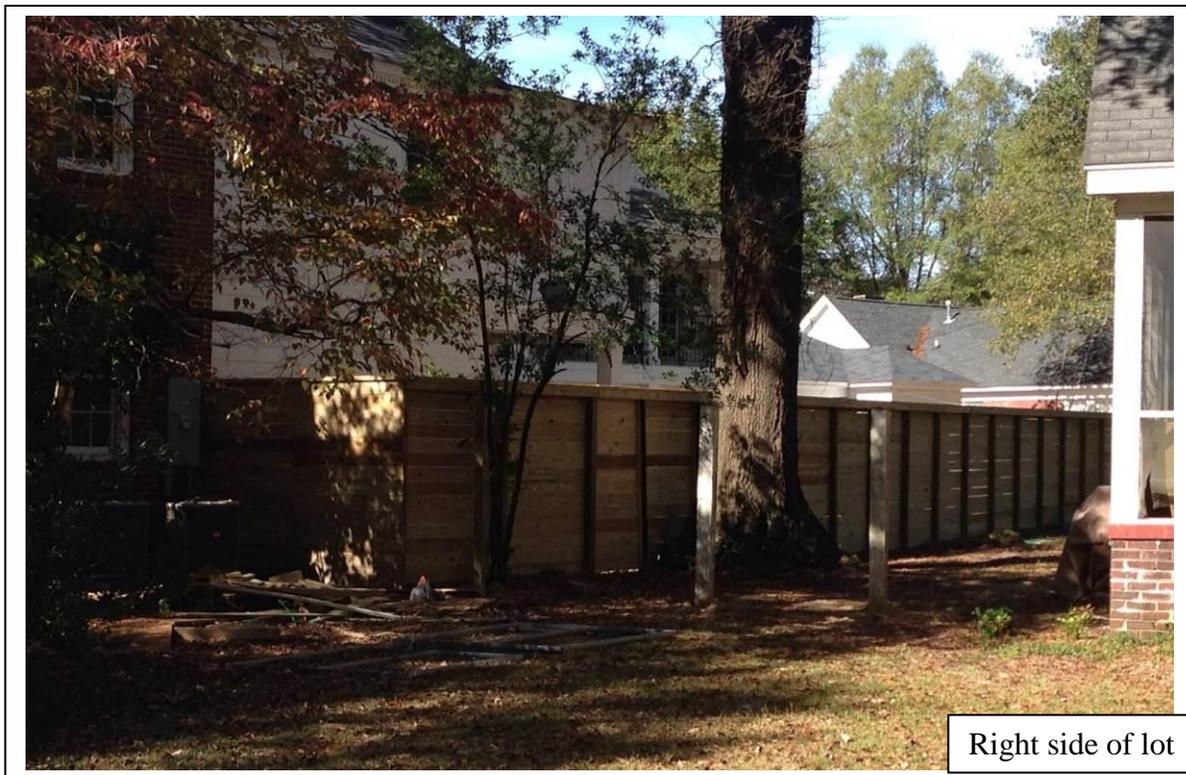
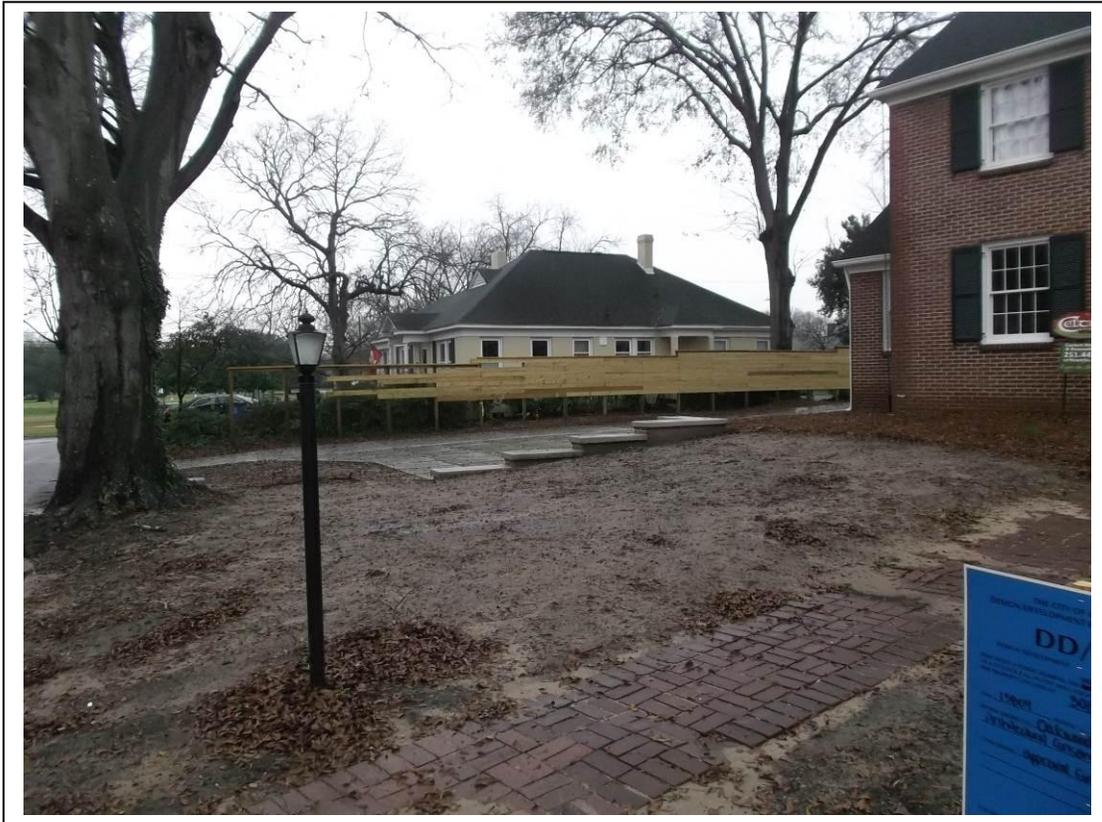
STAFF RECOMMENDATIONS:

Staff finds that the proposal does not meet Section 9 of the guidelines and recommends denial of the proposed fence for portions visible to the public right of way, as determined by staff.



Photos by Staff







Choice of Fence Depends Upon Home's Architecture

Whether the fence is intended as a complement to an attractive house or as a thing of utilitarian value to mark boundaries, provide privacy, and keep dogs and children from the wheels of automobiles, all home-building authorities urge the home owners to consider the architecture of the house in choosing the style of the fence.

Builders of new homes frequently have an architect to advise them on fence style, but owners of existing homes who wish to erect fences usually have to make their own selections. The primary rule, according to those qualified to advise, is that the fence repeat the character and scale of the house and setting.

Among general rules to be observed in choosing fence style are these:

Low homes should have low and horizontal fences.

Florida and California homes sometimes use crisscross wooden fences for good appearance, while iron fences of Spanish design are also of good taste.

Simple rail fences which repeat the horizontal lines of the house are adaptable to modern homes.

Pickets For Colonial Homes. Picket fences are considered good for Colonial homes.

The stone homes of Pennsylvania usually are encompassed by four-railed whitewashed fences.

Picket fences are perennial favorites for the Cape Cod cottage.

Unusually attractive effects are sometimes obtained by using a stone fence topped with wood rails.

Above: Image of vertical wood picket fences

Above: 1940 news article in *The State*



Early 1900s image in Columbia shows vertical wood fence, Federal Savings and Loan Co., courtesy of Richland Library

SUBMITTED BY APPLICANT WITH FIRST PROPOSAL

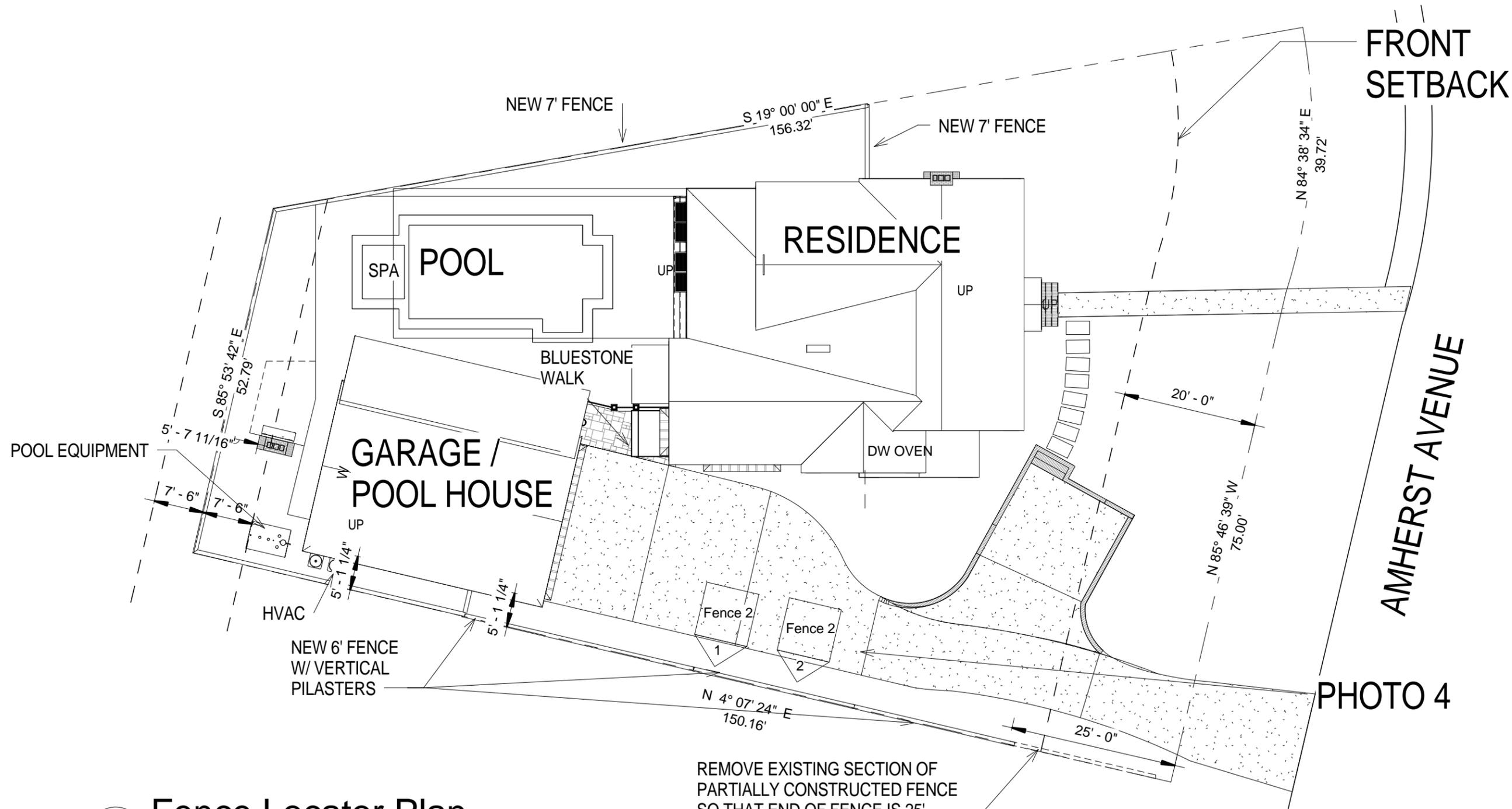
General Description:

Project consist of a new wood fence which was constructed to replace the existing wood fence around the back yard pool and a new wood fence along the left side property line. The owner would like to retain the new fence as constructed with the exception of a small portion along the left side property line that intrudes into the front yard setback. The owner proposes to cut the fence along the left side property line back to a point that is 25' behind the front property line.

The owner would like to retain the horizontal wood design as constructed and would like to retain the 7' height as constructed. The neighborhood guidelines defer approval of fences that are under 6' in height and have a vertical configuration to staff review but the owner feels like the horizontal design and 7' height is more appropriate for this project. The underlying zoning allows 7' fences along rear and side property lines by default.

There appears to be no discernible historic fence pattern in the Oakwood Court neighborhood. There are a couple of examples of brick walls, one example of brick and wrought iron, a plethora of wood fences ranging from standard building supply company vertical boards to combinations of lattice and horizontal boards. The single largest fence example in the neighborhood is a variation of either chain link or metal wire fence on wood post. From the standpoint of historic precedent most of the chain link and metal wire fences appear to substantially predate the various wood fences.

The fence around the rear yard is largely not visible from the street and substantially aligns on the right side with the neighbors stock vertical stockade wood fence.



1 Fence Locator Plan
 Fence 1 1/16" = 1'-0"

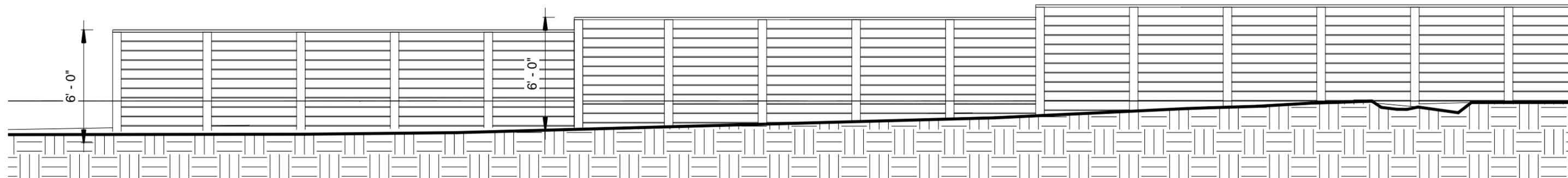
REMOVE EXISTING SECTION OF PARTIALLY CONSTRUCTED FENCE SO THAT END OF FENCE IS 25' BEHIND FRONT SETBACK LINE

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Tom Jones 3015 Amherst Avenue

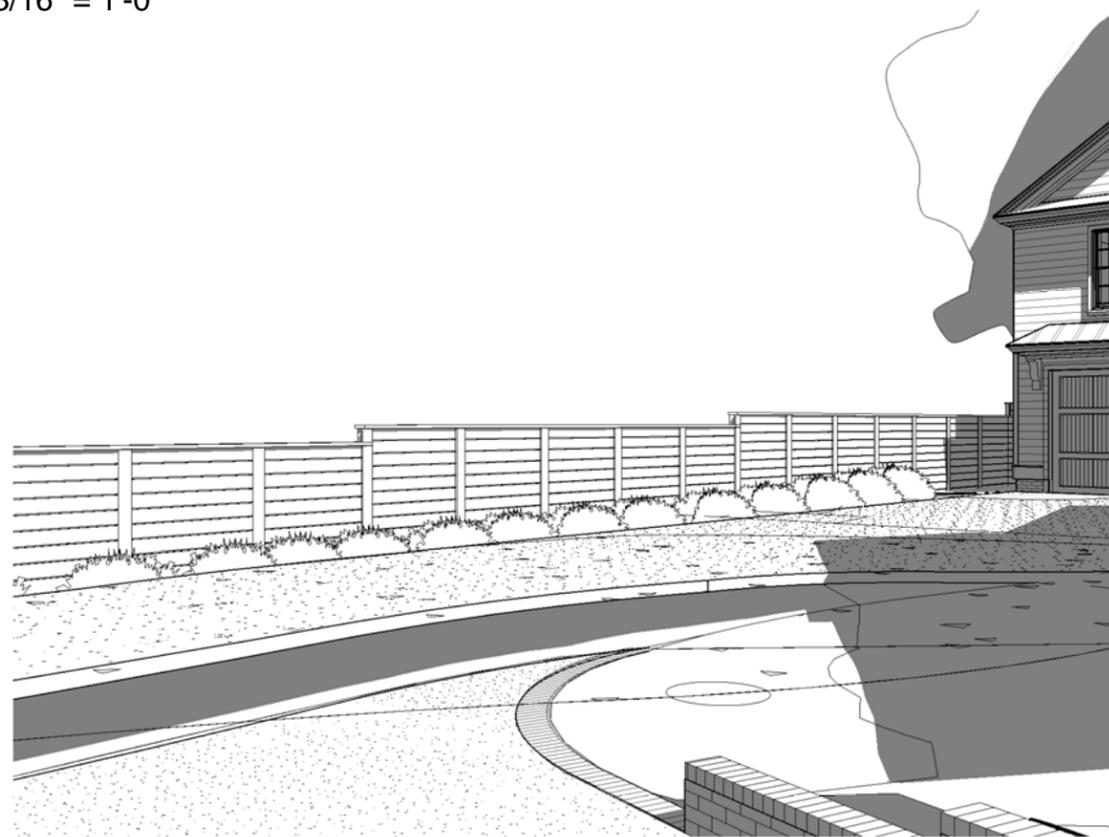
No.	Description	Date

Site Plan Showing New Fence		Fence 1
Project number	1234	
Date	12/08/2015	
Drawn by	Author	
Checked by	Checker	
Scale 1/16" = 1'-0"		



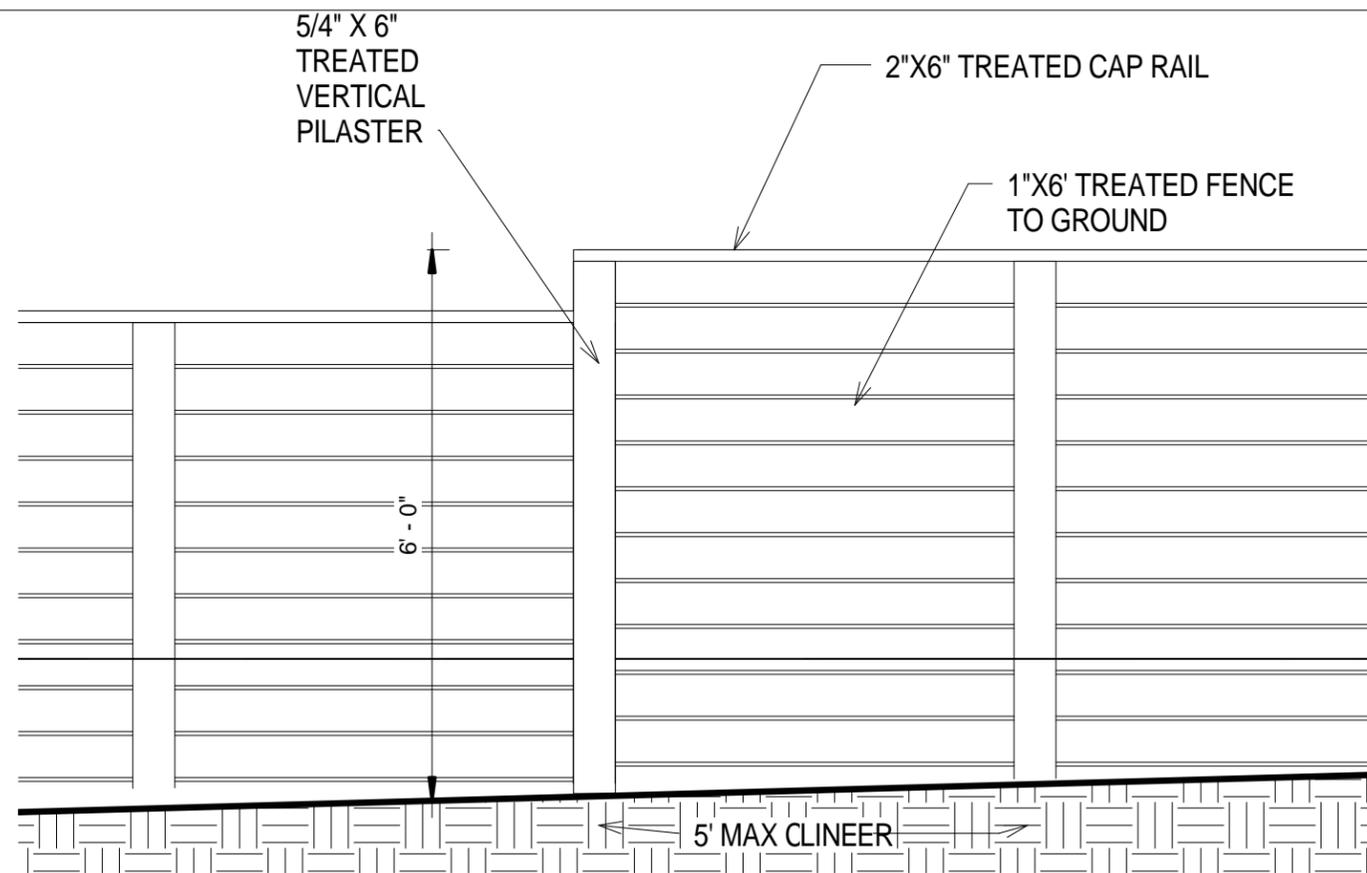
1 **Front Fence Elevations**

Fence 2 3/16" = 1'-0"



3 **Front Fence Sketch**

Fence 2

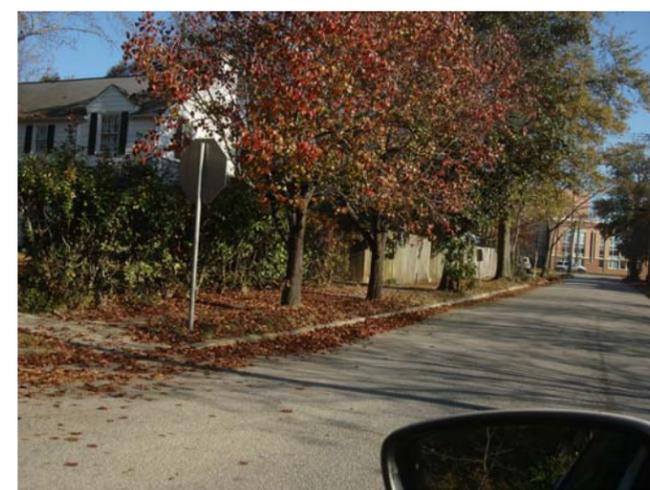


2 **Front Fence Detail**

Fence 2 1/2" = 1'-0"

No.	Description	Date

Fence Details at Front		Fence 2
Project number	1234	
Date	12/08/2015	
Drawn by	Author	
Checked by	Checker	Scale As indicated



Tom Jones 3015 Amherst Avenue

No.	Description	Date

Photos of Other Neighborhood Fences		
Project number	1234	<h1>Fence 3</h1>
Date	12/08/2015	
Drawn by	Author	
Checked by	Checker	
		Scale



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5

No.	Description	Date

Photos of Proposed Fence		
Project number	1234	<h1>Fence 4</h1>
Date	12/08/2015	
Drawn by	Author	
Checked by	Checker	
Scale		