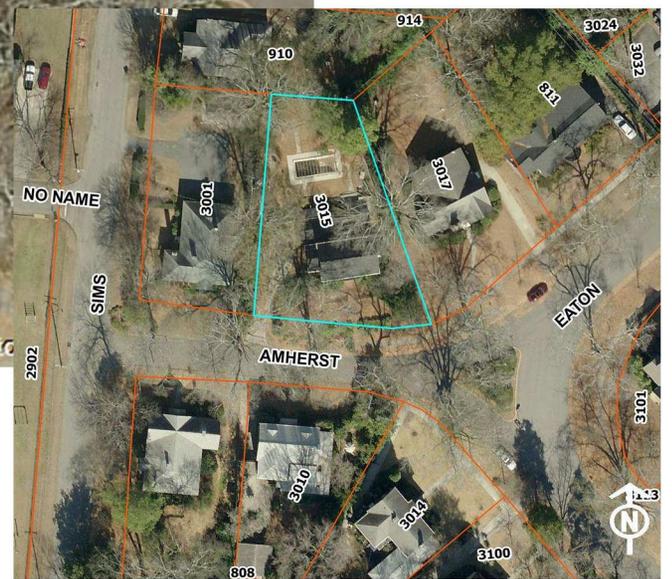




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# D/DRC Case

3015 Amherst Avenue  
Oakwood Court Architectural Conservation District  
TMS: 13804-01-02

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**DESIGN/DEVELOPMENT REVIEW COMMISSION**  
**DESIGN REVIEW DISTRICT**  
**HISTORIC AGENDA**  
**EVALUATION SHEET**  
Case # 14

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**ADDRESS:** 3015 Amherst Avenue

**APPLICANT:** Dale Marshall, architect

**TAX MAP REFERENCE:** TMS#13804-01-02

**USE OF PROPERTY:** Residential

**REVIEW DISTRICT:** Oakwood Court Architectural Conservation District

**NATURE OF REQUEST:** Request Certificate of Design Approval for site improvement, a new fence in the side yard

**FINDINGS/COMMENTS:**

This is a c. 1940 Colonial Revival, two-story, brick-veneer single family home that is contributing to the district. It is a good example of the style, displaying a number of typical features such as a symmetrical façade, masonry exterior, side gable roof, and a decorative cornice with dentil molding. Over the past few years the owner has enlarged the house with a generous rear addition and construction a two-story garage, all after approval by the D/DRC.

Staff noticed an unapproved fence being constructed on the site in November 2015. It was very tall and had a horizontal orientation, with long wood boards affixed to vertical wood posts. The fence had no permit from the City and had not undergone design review. It was not in compliance with Zoning limitations to its height in the front yard setback, which limits it to four feet, as the fence was generally around 7 feet or more in some locations. Staff contacted the contractors for the project and stated that they would not be able to approve the fence as it existed and they agreed to a compromise that allowed a majority of the completed portions of the fence to remain in the back and side yards but removed it from the front of the garage up to the street. The portions allowed to remain are minimally visible to the public right of way.

Later the owner decided to appeal the staff decision and request approval from the D/DRC for the retention of the fence as constructed to include the most visible portion along the driveway, with the exception of removing entirely the portion of the fence in the front 25 feet of the yard.

**PERTINENT SECTIONS FROM THE GUIDELINES:**

**SECTION 9: FENCES AND WALLS**

***PRINCIPLES***

*Fences and walls serve to delineate property lines and act as a barrier to distinguish between a yard, sidewalk, and street. Fences and retaining walls of brick or wood, simple in design, are appropriate for the district.*

*New fences and walls should respect traditional materials, design, and scale of those extant in the neighborhood; they should be consistent with those found on the block or in the district. They should complement the building and not obscure significant features. They should be no more than four feet on any street elevation and six feet on side and rear elevations.*

### ***GUIDELINES***

*a. Design a fence or wall so that it is compatible with the associated structure in design and materials.*

While the use of wood is a material that is compatible with the associated structure, the design is not compatible and does not meet this guideline. This is a Colonial Revival house. The fence proposed is a Modern design that in no way reflects the principles of the house's design. As a Revival style house, the home is actually harkening back to the Colonial period; its design is meant to evoke an earlier, historic home style. Conversely, the proposed fence is distinctly Modern in design. It has a horizontal orientation with long boards abutted tightly to each other.

Traditional historic fences were generally vertical in the orientation of their individual planks. Horizontal orientation for older fencing was generally relegated to stockyard or rural areas. The modern interpretation has been popular in the last few years and appears like the fence proposed. As a clearly Modern fence, this proposal does not meet the guideline as the fence design is not compatible with the associated Colonial Revival house.

The applicant has submitted information on behalf of the owner suggesting that the neighborhood has no set design of fence or wall styles and therefore their proposal should be accepted, but that does not address this guideline, which mandates the fence's compatibility "with the associated structure in design."

*b. Fences shall be no more than 4' in height in the front yard setback and no more than 6' in height on side and rear elevations.*

The original plan was to have a 7 foot high section of fence in the front yard setback. The current proposal removes the fence from this area.

The remaining fence around the sides and back is at 7' and more in some areas. Staff measured portions of their fence during their site visit and the fence height went above 7 feet near the garage. Although the Zoning ordinance allows fences to be 7 feet tall at a maximum, in this district the guidelines indicate it should be limited to 6 feet in height. Therefore, the proposal of a 7 foot and higher fence is not in keeping with this guideline for areas that are visible to the public right of way near the front of the property and the front of the side portions.

*c. The following materials are not permitted for fences or walls in the front or secondary front yard: chain link; concrete block unless stuccoed or veneered in brick; artificial siding material (ex. T-111, corrugated metal).*

Not applicable.

### **STAFF RECOMMENDATIONS:**

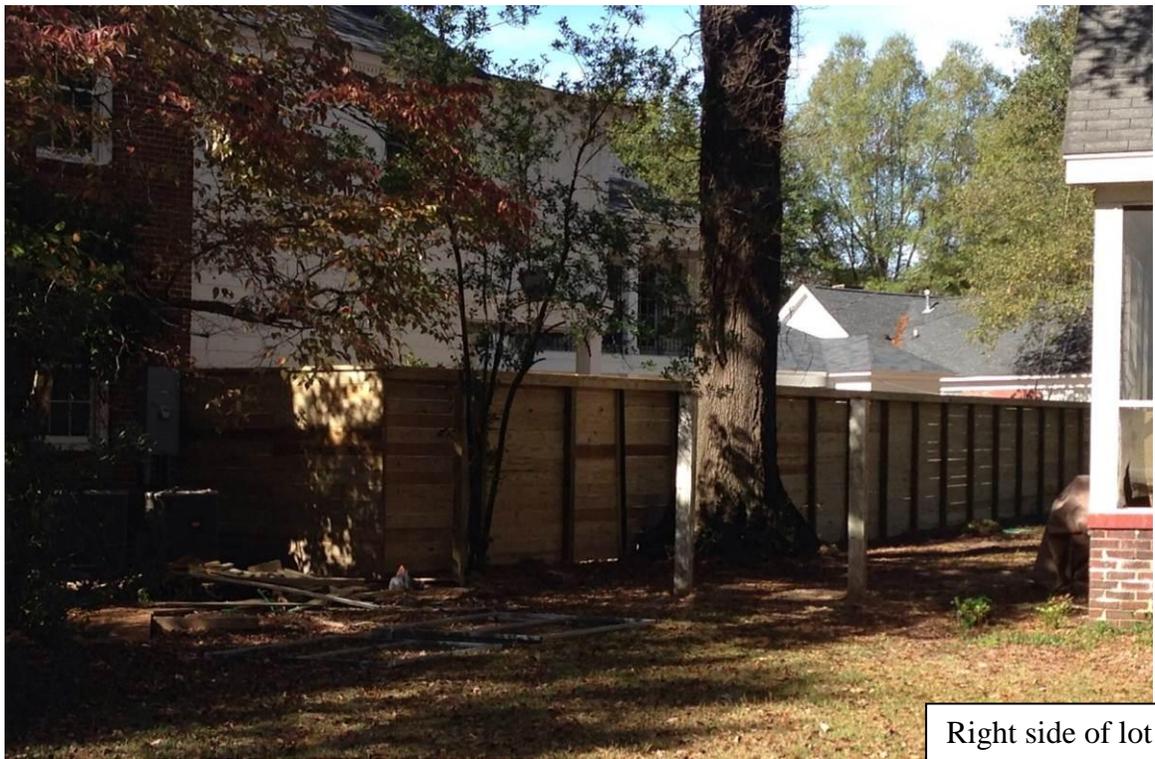
Staff finds that the proposal does not meet Section 9 of the guidelines and recommends denial of the proposed fence for portions visible to the public right of way, as determined by staff.



Photos by Staff







Right side of lot



### Choice of Fence Depends Upon Home's Architecture

Whether the fence is intended as a complement to an attractive house or as a thing of utilitarian value to mark boundaries, provide privacy, and keep dogs and children from the wheels of automobiles, all home-building authorities urge the home owners to consider the architecture of the house in choosing the style of the fence.

Builders of new homes frequently have an architect to advise them on fence style, but owners of existing homes who wish to erect fences usually have to make their own selections. The primary rule, according to those qualified to advise, is that the fence repeat the character and scale of the house and setting.

Among general rules to be observed in choosing fence style are these:

Low homes should have low and horizontal fences.

Florida and California homes sometimes use crisscross wooden fences for good appearance, while iron fences of Spanish design are also of good taste.

Simple rail fences which repeat the horizontal lines of the house are adaptable to modern homes.

**Pickets For Colonial Homes.**

Picket fences are considered good for Colonial homes.

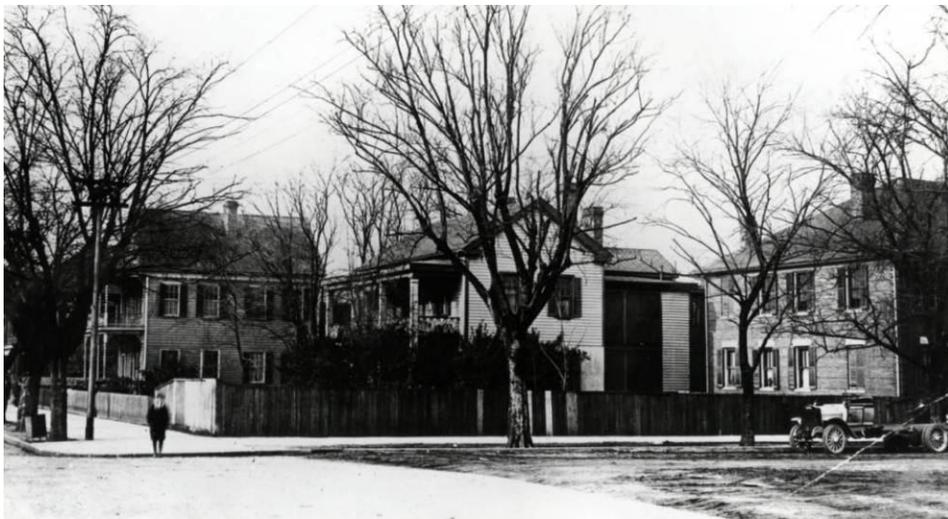
The stone homes of Pennsylvania usually are encompassed by four-railed whitewashed fences.

Picket fences are perennial favorites for the Cape Cod cottage.

Unusually attractive effects are sometimes obtained by using a stone fence topped with wood rails.

Above: Image of vertical wood picket fences

Above: 1940 news article in *The State*



Early 1900s image in Columbia shows vertical wood fence, Federal Savings and Loan Co., courtesy of Richland Library

## **SUBMITTED BY APPLICANT**

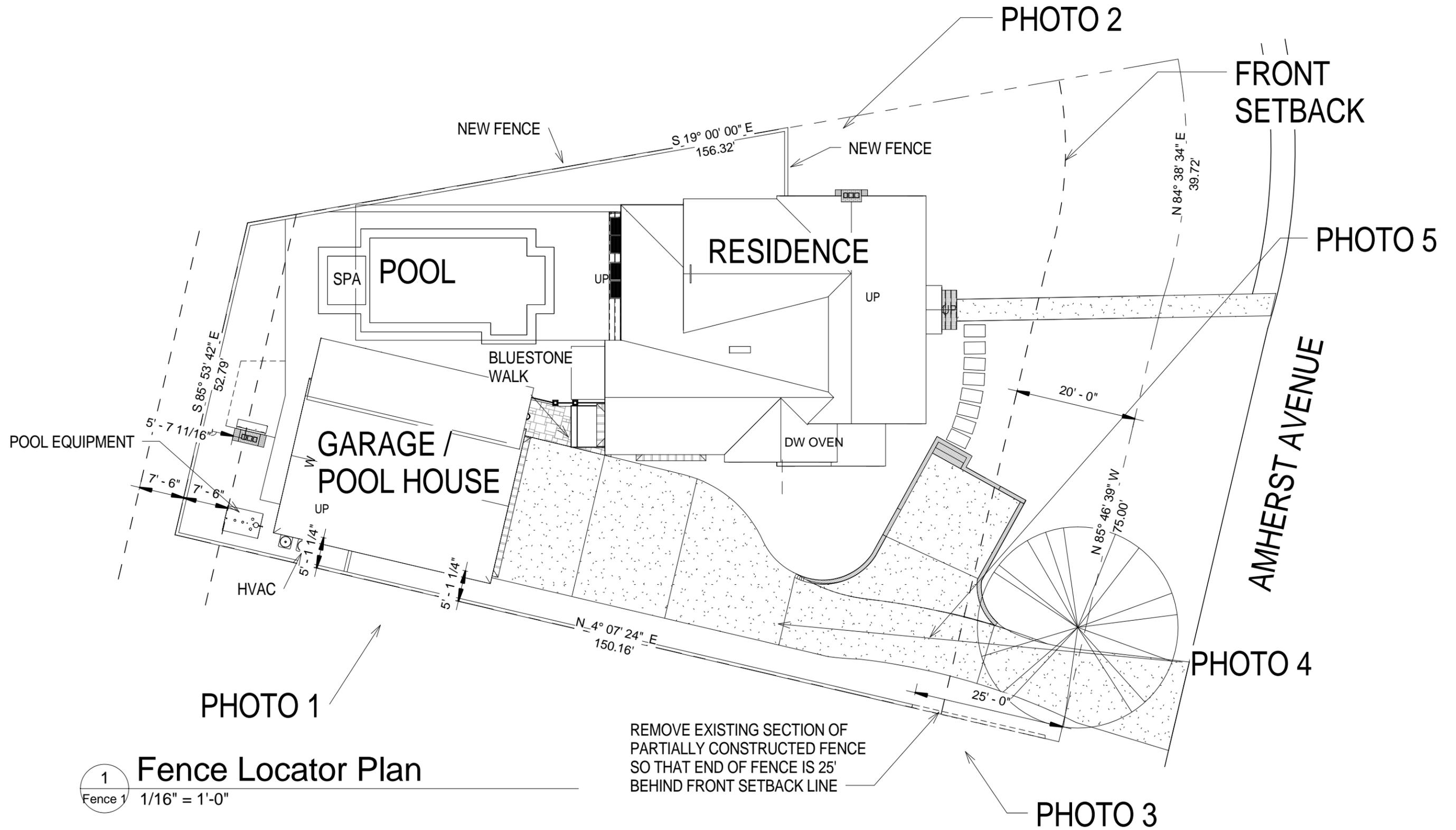
### General Description:

Project consist of a new wood fence which was constructed to replace the existing wood fence around the back yard pool and a new wood fence along the left side property line. The owner would like to retain the new fence as constructed with the exception of a small portion along the left side property line that intrudes into the front yard setback. The owner proposes to cut the fence along the left side property line back to a point that is 25' behind the front property line.

The owner would like to retain the horizontal wood design as constructed and would like to retain the 7' height as constructed. The neighborhood guidelines defer approval of fences that are under 6' in height and have a vertical configuration to staff review but the owner feels like the horizontal design and 7' height is more appropriate for this project. The underlying zoning allows 7' fences along rear and side property lines by default.

There appears to be no discernible historic fence pattern in the Oakwood Court neighborhood. There are a couple of examples of brick walls, one example of brick and wrought iron, a plethora of wood fences ranging from standard building supply company vertical boards to combinations of lattice and horizontal boards. The single largest fence example in the neighborhood is a variation of either chain link or metal wire fence on wood post. From the standpoint of historic precedent most of the chain link and metal wire fences appear to substantially predate the various wood fences.

The fence around the rear yard is largely not visible from the street and substantially aligns on the right side with the neighbors stock vertical stockade wood fence.



**1 Fence Locator Plan**  
 Fence 1 1/16" = 1'-0"

REMOVE EXISTING SECTION OF PARTIALLY CONSTRUCTED FENCE SO THAT END OF FENCE IS 25' BEHIND FRONT SETBACK LINE

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**Tom Jones 3015 Amherst Avenue**

No.	Description	Date

Site Plan Showing New Fence		
Project number	1234	<b>Fence 1</b>
Date	12/08/2015	
Drawn by	Author	
Checked by	Checker	
Scale		1/16" = 1'-0"



PHOTO 1



PHOTO 2



PHOTO 3



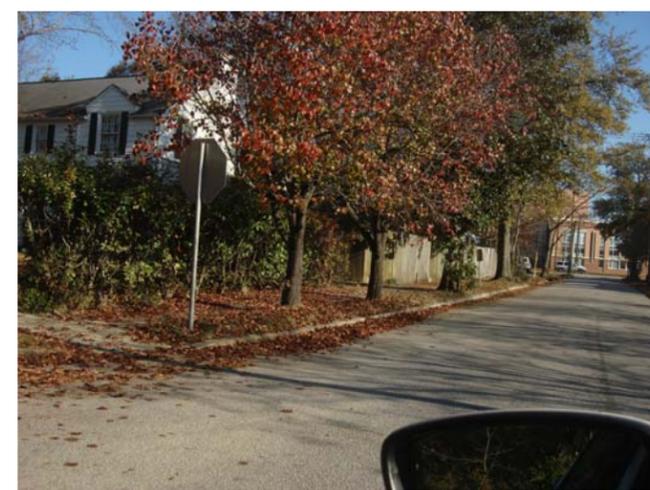
PHOTO 4



PHOTO 5

No.	Description	Date

Photos of Proposed Fence		Fence 2
Project number	1234	
Date	12/08/2015	
Drawn by	Author	
Checked by	Checker	
Scale		



Tom Jones 3015 Amherst Avenue

No.	Description	Date

Photos of Other Neighborhood Fences		
Project number	1234	<h1>Fence 3</h1>
Date	12/08/2015	
Drawn by	Author	
Checked by	Checker	
Scale		