

02/27/2015

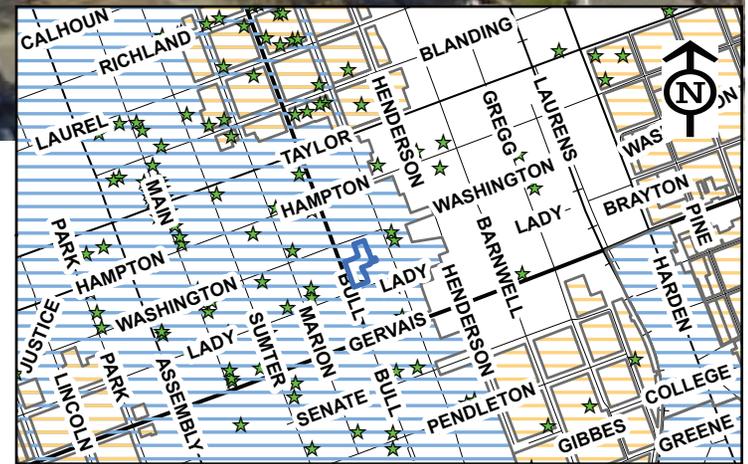


D/DRC Case

1501 Lady Street

Individual Landmark

TMS: 11402-12-14



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case # 3

ADDRESS: 1501 Lady Street

APPLICANT: Robert Lewis, agent

TAX MAP REFERENCE: TMS#11402-12-14

USE OF PROPERTY: Office

REVIEW DISTRICT: Individual Landmark, Group II

NATURE OF REQUEST: Request Certificate of Design Approval for preliminary certification for the Bailey Bill

FINDINGS/COMMENTS:

This is a 1949 office known as the Seibels Bruce Building. Designed by architectural firm Lafaye, Fair & Lafaye recently became an Individual Landmark.

The agent is applying for preliminary certification for the Bailey Bill.

According to the information presented to staff the building is undergoing a wide scale interior renovation of operational systems, with very limited exterior changes at this time. Staff has already approved minor changes, including the addition of a small coping at the roofline and a few scuppers for water drainage from the roof.

Proposed changes include: replacing the entry lobby ceiling, adding aluminum canopies at the rear of the building, replacing a window at the rear of the building, replacing the HVAC systems, replacing the electrical system, upgrading the sprinkling system and lighting, and replacing caulk in the exterior joints between stone panels. The changes at the rear of the building are not visible to the public right of way and are therefore not being reviewed. The remaining items are interior systems or general maintenance that do not affect the appearance of the building, except for the proposed changes to the lobby ceiling. The Bailey Bill ordinance allows review for “interior primary public spaces” and therefore the ceiling is being reviewed.

PERTINENT SECTIONS FROM CITY ORDINANCE

Sec. 17-698. Eligible rehabilitation.

Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

1. The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.

The first-floor lobby of this building has the highest level of detailing of any lobbies or corridors within the structure. Clearly designed to impress, it features a marble and granite floor, dark stained wood walls and indirect lighting behind a dropped ceiling used to highlight the elevator doors. The materials of the floor and wall are smooth and do not allow for any mortar lines between the large marble floor tiles and seams are almost invisible on the smooth wood-paneled walls. Likewise, the dropped ceiling features a concealed grid system, minimizing any strong lines and generating a unified appearance. The tiles used are small and square with a pocked appearance, framed along the wall line by a smooth plaster band approximately a foot wide. The creation of smooth, unified surfaces is a hallmark of mid-century design and is also evidenced by the tightly spaced stone panels on the exterior of the building, which lends an almost monolithic appearance to the wall cladding.

The current proposal is to remove the concealed grid system in the lobby ceiling and install smooth gypsum boards. As a primary public space this area should have its historic character retained and preserved; removing the historic material from the ceiling and replacing it with a different material does not meet this guideline. The current ceiling is in excellent condition. It is a feature that characterizes the lobby due to its inherent characteristics of shape and texture, items that would be eliminated in a smooth gypsum board ceiling. The proposal does not meet this guideline.

Other mechanical systems to be replaced will not be visible to the lobby or to the public right of way.

2. Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.

The proposed replacement of the lobby ceiling with a smooth gypsum would appear as a modern ceiling and may create a false sense of historical development.

3. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not applicable.

4. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

Removal of the lobby ceiling's concealed grid panels would remove a distinctive feature of the building and would therefore not meet this guideline.

5. Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

If the lobby ceiling has any damaged areas they should be repaired with the same material.

6. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Although not proposed at this time, any future cleaning endeavors of the exterior should meet this guideline.

7. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.

Not applicable.

8. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Not applicable.

STAFF RECOMMENDATIONS:

Staff recommends preliminary certification of the Bailey Bill conditional upon:

- retention of the lobby ceiling
- the project meeting or exceeding the 20% investment threshold requirements for qualified rehabilitation expenses
- All work meeting the standards for work as outlined in Section 17-698(a)
- All details deferred to staff

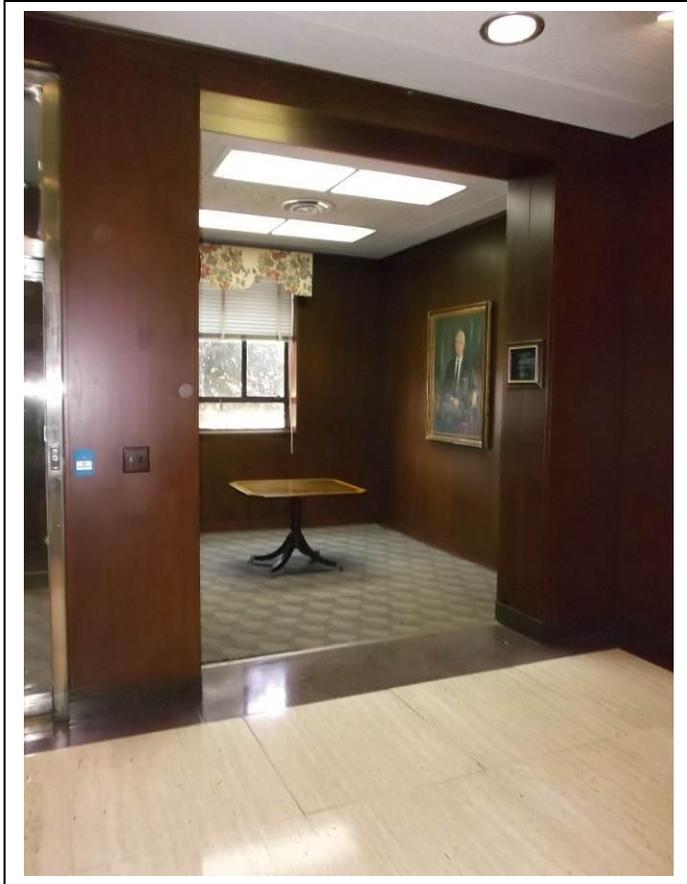


Top: Google streetview image

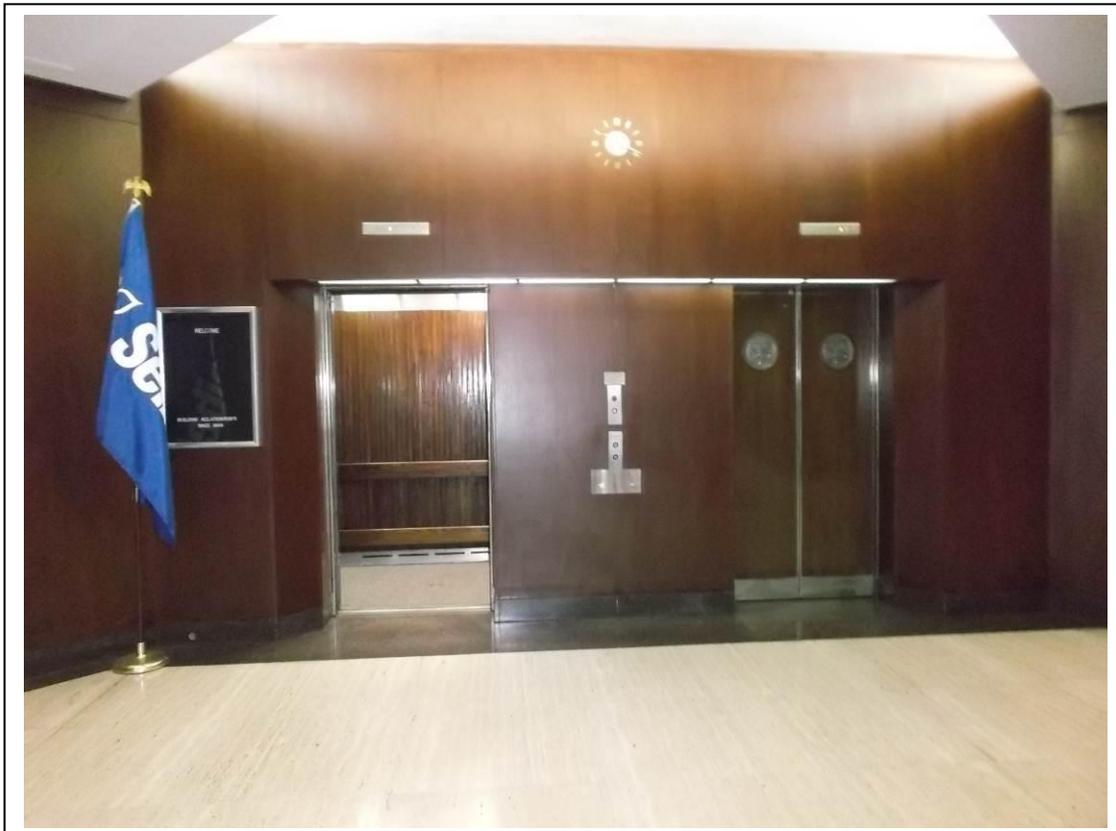
Above: Lobby showing floor, walls and ceilings with “seamless” appearance (image grayed to highlight details)

Right: Ceiling tiles in concealed grid in the building, similar to those in the lobby



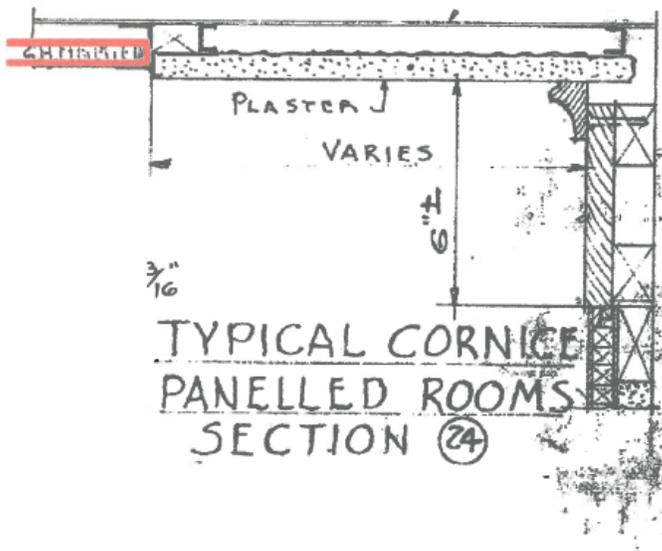


Top: small room in lobby
Left: Small room in lobby
Bottom: Lobby view to elevators
Staff photos



SUBMITTED BY APPLICANT

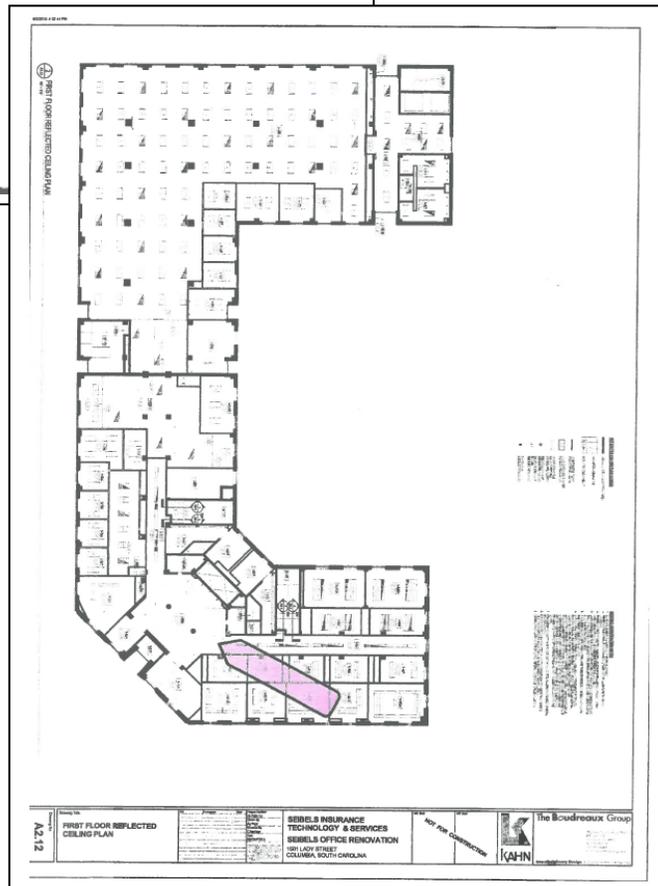
I think as long as the gyp is in the same plane as the APC, it would have the same architectural character.



Lobby ceiling changes

Presumably the area in red will be the affected area

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CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

<p>Architectural feature <u>HVAC and Heating System</u> Approximate date of feature <u>1970's</u> Describe feature and its condition Current system is a DX system with water cooled condenser. There are 5 large air handler units. Two steam boilers provide heating to the air handlers.</p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>Remove and replace all ductwork and HVAC distribution equipment, add new zone control thermostats, new air handlers will be replaced with central variable air volume system.</p>
<p>Architectural feature: <u>Light Fixtures</u> Approximate date of feature <u>1949</u> Describe feature and its condition</p> <p>A combination of fluorescent type grid fixtures with magnetic and electronic ballast driving T-8 lamps.</p> <p>Photograph No. <u>13,15,26, & 34</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>The lighting housing in the First Floor/Main Lobby will remain and the bulbs will be replaced with LED bulbs. In all of the area, new LED suspended grid system lighting to closely match existing will be added.</p>
<p>Architectural feature <u>Plumbing Systems</u> Approximate date of feature <u>1949</u> Describe feature and its condition</p> <p>The existing plumbing fixtures are dated and do not meet ADA requirements but are well maintained and in good working order.</p> <p>Photograph No. <u>19,20,21,22, &23</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>Re-use all original plumbing systems, toilets, and lavatories. Evaluate the existing piping and replace as needed.</p>
<p>Architectural feature <u>Lobby</u> Approximate date of feature <u>1949</u> Describe feature and its condition</p> <p>Original architectural elements remain including marble floor, floor to ceiling columns, decorative air intake grilles flanking the double elevators and wood paneling throughout. Located in the Lobby are the original elevator doors and indicators.</p> <p>Photograph No. <u>13, 14</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>There will be no change to the Main Lobby other than replacing the suspended grid type ceiling with gypsum wall board. (See Drawing A2.12 and Y)</p>

CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

<p>Architectural feature Exterior Façade Approximate date of feature 1949 Describe feature and its condition</p> <p>See "Description of Physical Appearance".</p> <p>Photograph No. 1-12 Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>The exterior architectural details of the Building will remain the same with the exception of</p> <ol style="list-style-type: none"> 1) The addition of coping along the roof parapet (see Drawing X) 2) Addition of aluminum canopy at rear entrances (see Drawings A1.20, A1.30, and A.2) 3) Replacement of window at rear of building with new louver to match existing (see Drawing A4.2) 4) Addition of overflow scuppers to exterior face of building (see Drawing A4.1)
<p>Architectural feature Acoustical Ceiling Tile Approximate date of feature 1949 Describe feature and its condition</p> <p>Throughout the building the ceilings are suspended grid panels.</p> <p>Photograph No. 13,14,15,16,26, & 27 Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>Replace suspended grid ceilings in all area with gypsum wall board.</p>
<p>Architectural feature _____ Approximate date of feature _____ Describe feature and its condition</p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature</p>
<p>Architectural feature _____ Approximate date of feature _____ Describe feature and its condition</p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature</p>

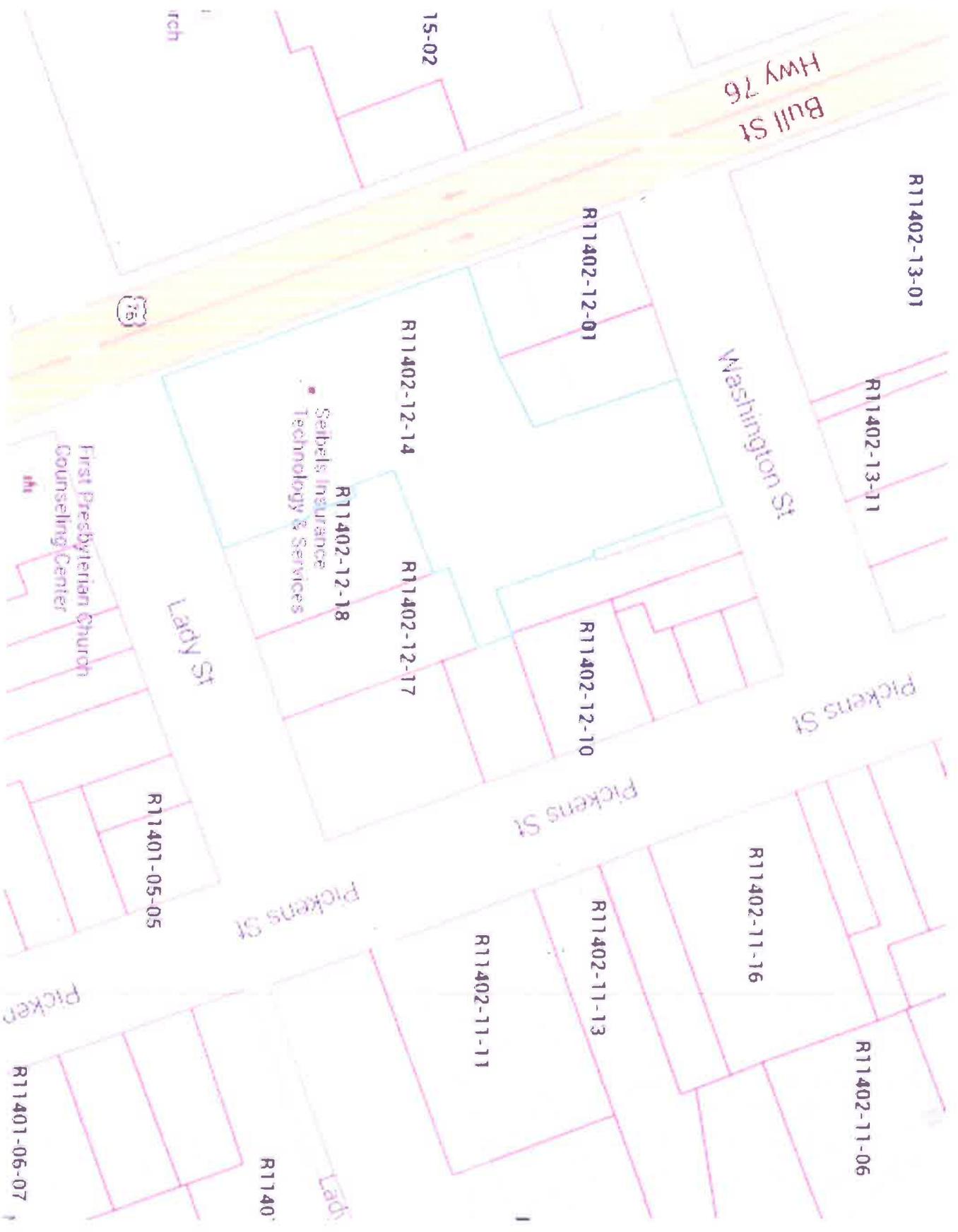
**Fair market value means the appraised value as certified to the DDRC by a real estate appraiser licensed by the State of*

LIST OF PHOTOGRAPHS

Photographer: Meg Southern

Date taken: February 12, 2015

1. Southwest elevation, primary façade of building. Camera facing northeast.
2. Southeast elevation. Camera facing northwest.
3. East elevation of west wing. 1949 building and 1977 addition. Camera facing west.
4. Northeast aspect, 1949 building. Camera facing southwest.
5. South elevation of south wing, 1949 building basement. Camera facing north.
6. South elevation of north wing, 1977 addition. Camera facing north.
7. Exterior detail, windows in 1949 building.
8. Exterior detail, windows in 1977 addition.
9. Exterior detail, main entryway, southwest façade. Camera facing northeast.
10. Exterior detail, main entryway, stairs along southwest façade.
11. Exterior detail, main entry door in southwest façade. Camera facing northeast.
12. Exterior detail, loading bay along north elevation of south wing. Camera facing southwest.
13. Interior, lobby of original 1949 bldg. Camera facing southwest.
14. Interior, elevators in lobby of original 1949 building. Camera facing northeast.
15. Interior, first level hallway in west wing of 1949 building. Camera facing northeast.
16. Interior, first level of 1949 building, executive conference room.
17. Interior detail, first level of 1949 building, executive file drawers.
18. Interior detail, first level of 1949 building, executive office.
19. Interior detail, first level of 1949 building, men's restroom door.
20. Interior detail, first level of 1949 building, men's restroom flooring.
21. Interior detail, first level of 1949 building, men's restroom sink.
22. Interior detail, first level of 1949 building, men's restroom windows.
23. Interior detail, first level of 1949 building, men's restroom iron grate over ductwork.
24. Interior detail, first level office door in 1949 building.
25. Interior detail, first level windows in 1949 building.
26. Interior, open floor plan on third floor in 1949 building.
27. Interior, open floor plan on fourth floor in 1949 building.
28. Interior detail, stairwell in 1949 building. Camera facing east.
29. Interior detail, door to stairwell in 1949 building.
30. Interior detail, window in third floor of 1949 building.
31. Interior detail, transition between 1949 building and 1977 addition.
32. Interior, fourth floor dining room in 1977 addition. Camera facing northwest.
33. Interior detail, closet doors in 1977 addition.
34. Interior, third floor hallway in 1949 building.
35. Interior, fourth floor executive conference room in 1949 building.
36. Interior, fourth floor Dining Room in 1977 building.
37. Interior, fourth floor open floor plan in 1977 building.
38. Interior detail, windows in 1977 addition. Camera facing north.
39. Interior detail, workshop in 1977 addition.
40. Interior detail, mailroom in basement of 1949 building's south wing.
41. Interior detail, open floor plan in basement of 1949 building's north wing.
42. Interior detail, electrical boxes in basement of 1949 building's south wing.



R11402-13-01

R11402-13-11

Pickens St

R11402-11-16

R11402-11-06

Washington St

R11402-12-01

R11402-12-10

Pickens St

R11402-11-13

15-02

R11402-12-14

R11402-12-17

Selbels Insurance
Technology & Services

R11402-12-18

Pickens St

R11402-11-11

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First Presbyterian Church
Counseling Center

Lady St

R11401-05-05

R11401

Lady St

Pickens St

R11401-06-07



1 of 42- Southwest elevation, primary façade of building. Camera facing northeast.



2 of 42- Southeast elevation. Camera facing northwest.



3 of 43-East elevation of west wing, 1949 building and 1977 addition. Camera facing west.



4 of 42-Northeast aspect, 1949 building. Camera facing southwest.



5 of 42-South elevation of south wing, 1949 building basement. Camera facing north.



6 of 42-South elevation of north wing, 1977 addition. Camera facing north



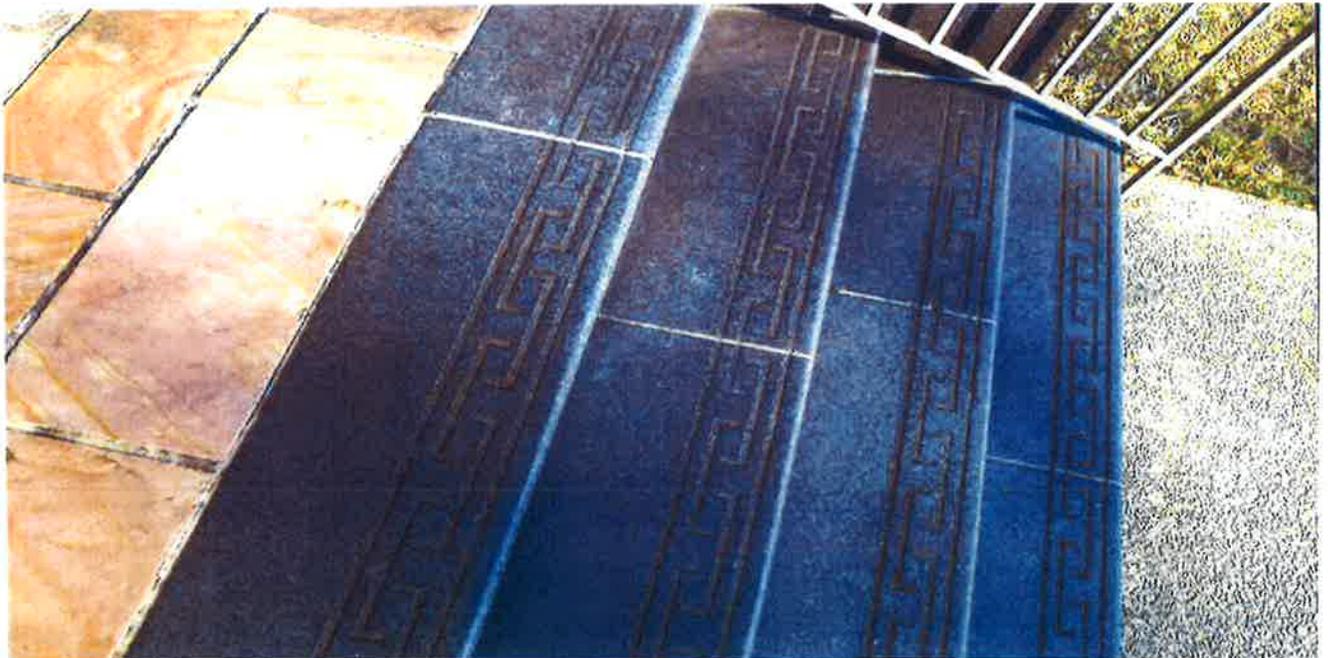
7 of 42-Exterior detail, windows in 1949 building



8 of 42-Exterior detail, windows in 1977 addition.



9 of 42-Exterior detail, main entryway, southwest façade. Camera facing northeast



10 of 42 -Exterior detail, main entryway, stairs along southwest façade.



11 of 42 - Exterior detail, main entry door in southwest façade. Camera facing northeast.



12 of 42-Exterior detail, loading bay along north elevation of south wing. Camera facing southwest.



13 of 42-Interior, lobby of original 1949 bldg. Camera facing southwest.



14 of 42-Interior, elevators in lobby of original 1949 building. Camera facing northeast.



15 of 42-Interior, first level hallway in west wing of 1949 building. Camera facing northeast.



16 of 42-Interior, first level of 1949 building, executive conference room.



17 of 42 -Interior detail, first level of 1949 building, executive file drawers.



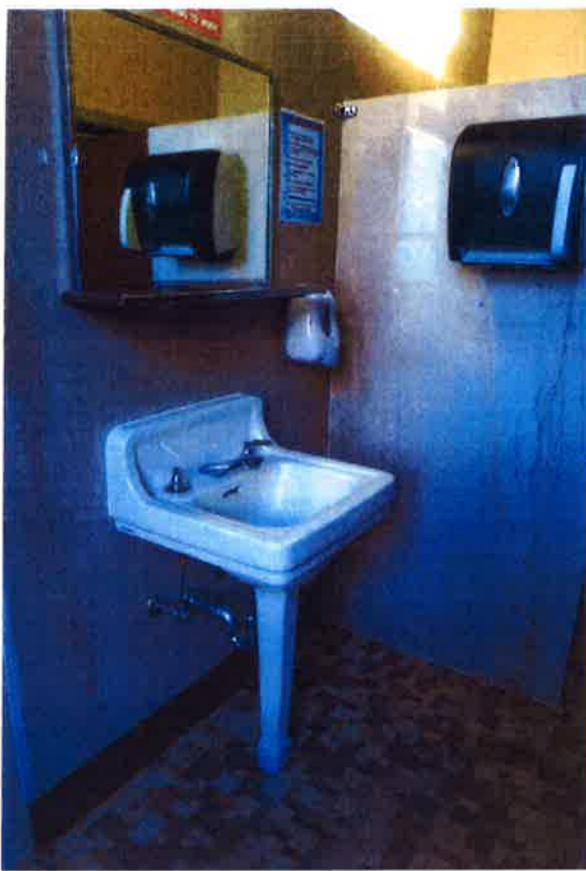
18 of 42-Interior detail, first level of 1949 building, executive office.



19 of 42-Interior detail, first level of 1949 building, men's restroom door.



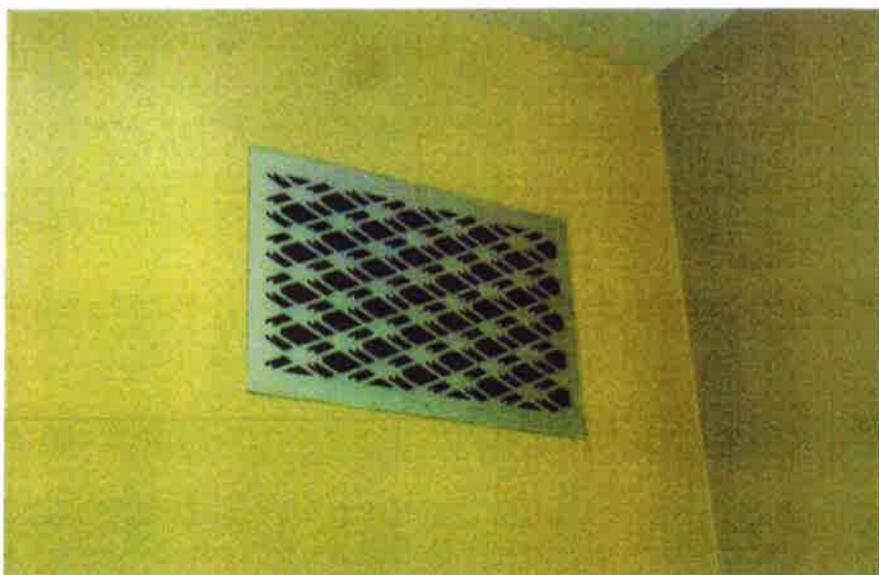
20 of 42 -Interior detail, first level of 1949 building, men's restroom flooring.



21 of 42-Interior detail, first level of 1949 building, men's restroom sink.



22 of 42-Interior detail, first level of 1949 building, men's restroom windows.



23 of 42-Interior detail, first level of 1949 building, men's restroom iron grate over ductwork.



24 of 42-Interior detail, first level office door in 1949 building,



25 of 42 -Interior detail, first level windows in 1949 building.



26 of 42 -Interior, open floor plan on third floor in 1949 building.



27 of 42 -Interior, open floor plan on fourth floor in 1949 building.



28 of 42-Interior detail, stairwell in 1949 building. Camera facing east.



29 of 42 -Interior detail, door to stairwell in 1949 building.



30 of 42-Interior detail, window in third floor of 1949 building.



31 of 42-Interior detail, transition between 1949 building and 1977 addition.



32 of 42-Interior, fourth floor dining room in 1977 addition. Camera facing northwest.



33 of 42 -Interior detail, closet doors in 1977 addition.



34 of 42-Interior, third floor hallway in 1949 building.



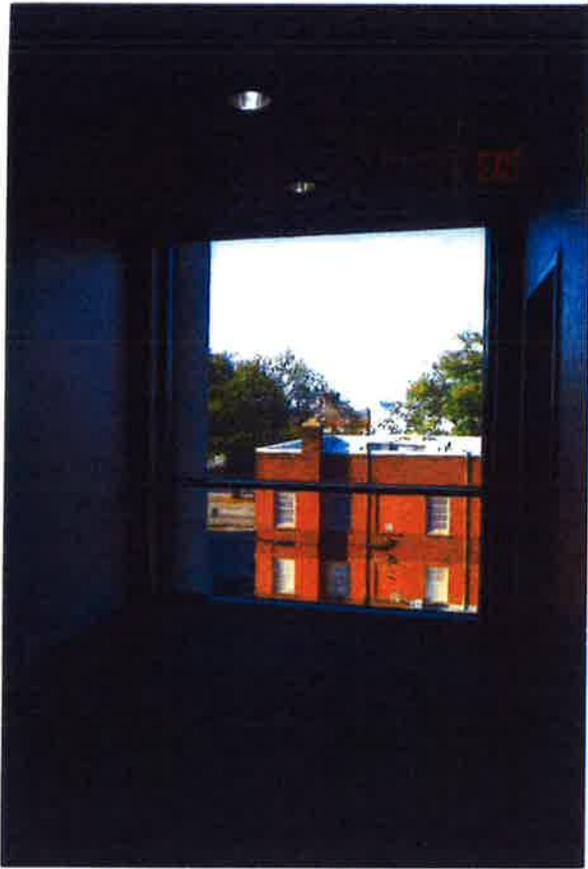
35 of 42 -Interior, fourth floor executive conference room in 1949 building.



36 of 42 –Interior, fourth floor Dining room in 1977 building.



37 of 42-Interior, fourth floor open floor plan in 1977 building.



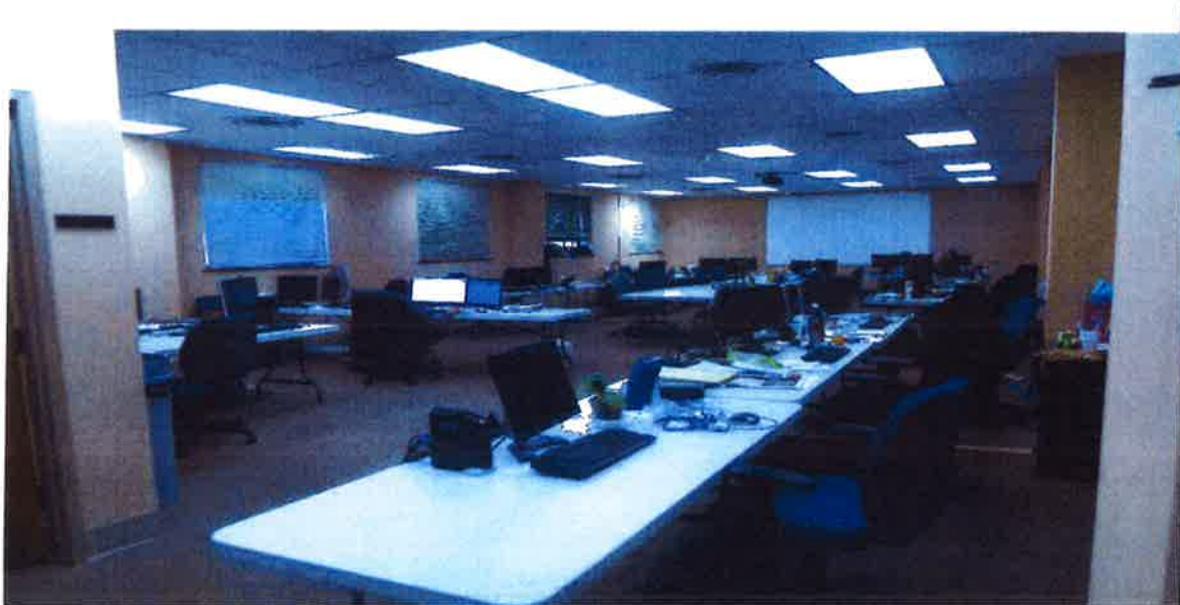
38 of 42-Interior detail, windows in 1977 addition. Camera facing north.



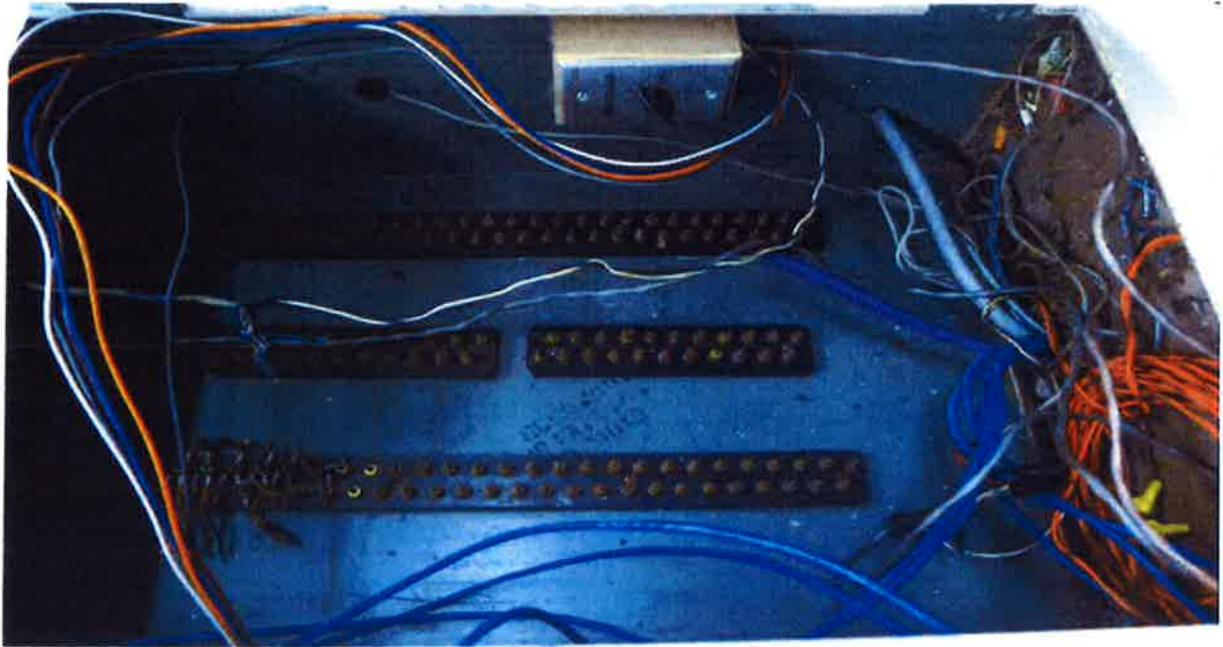
39 of 42-Interior detail, workshop in 1977 addition.



40 of 42-Interior detail, mailroom in basement of 1949 building's south wing.



41 of 42-Interior detail, open floor plan in basement of 1949 building's north wing.



42 of 42-Interior detail, electrical boxes in basement of 1949 building's south wing.