

02/21/2013

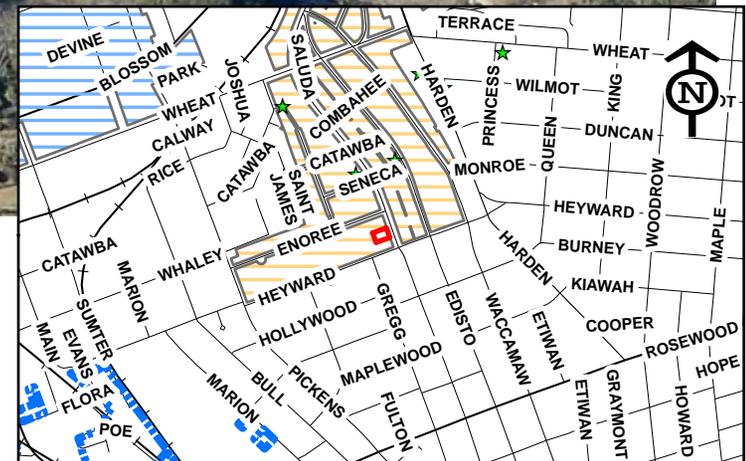


D/DRC Case

115 Saluda Avenue

Wales Garden Architectural Conservation District

TMS: 11310-22-06



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC CONSENT AGENDA
EVALUATION SHEET
Case #3

ADDRESS: 115 Saluda Avenue

APPLICANT: Dianne Rushing, owner

TAX MAP REFERENCE: TMS#11310-22-06

USE OF PROPERTY: Residential

REVIEW DISTRICT: Wales Garden Architectural Conservation District

NATURE OF REQUEST: Request for a Certificate of Design Approval for preliminary certification for the Bailey Bill.

FINDINGS/COMMENTS:

The two-story painted brick house located at 115 Saluda Avenue was built ca. 1951 for Mrs. Nathan Sanborn. The house was designed by prominent South Carolina architect James C. Hemphill in 1950, and is a contributing structure in the Wales Garden Architectural Conservation District. The exterior of the house has not been altered over the years and still retains its original casement windows.

The applicant is requesting preliminary certification for the Bailey Bill for a rehabilitation proposal that includes retaining and repairing historic architectural features and materials including windows and doors, replacing the electrical and plumbing systems, and upgrading the existing HVAC system. The removal of historic materials or alterations of features and spaces that characterize the property shall be avoided. Additional work including structural repairs to the house, roof replacement, attic insulation, and deferred maintenance will count toward the investment threshold. Interior work and new construction costs will not be included. The applicant estimates that qualified rehabilitation expenses for this project will meet or exceed the 20% minimum investment threshold needed to make the project eligible.

The applicant is also planning to construct a patio and freestanding carport at the rear of the house; however, this will not be visible from the public right-of-way.

This project shall be reviewed based on the criteria outlined below in Section 17-698(a) of the Bailey Bill as well as the current design guidelines for the Wales Garden Architectural Conservation District.

Bailey Bill Ordinance, Sec. 17-698. Eligible rehabilitation.

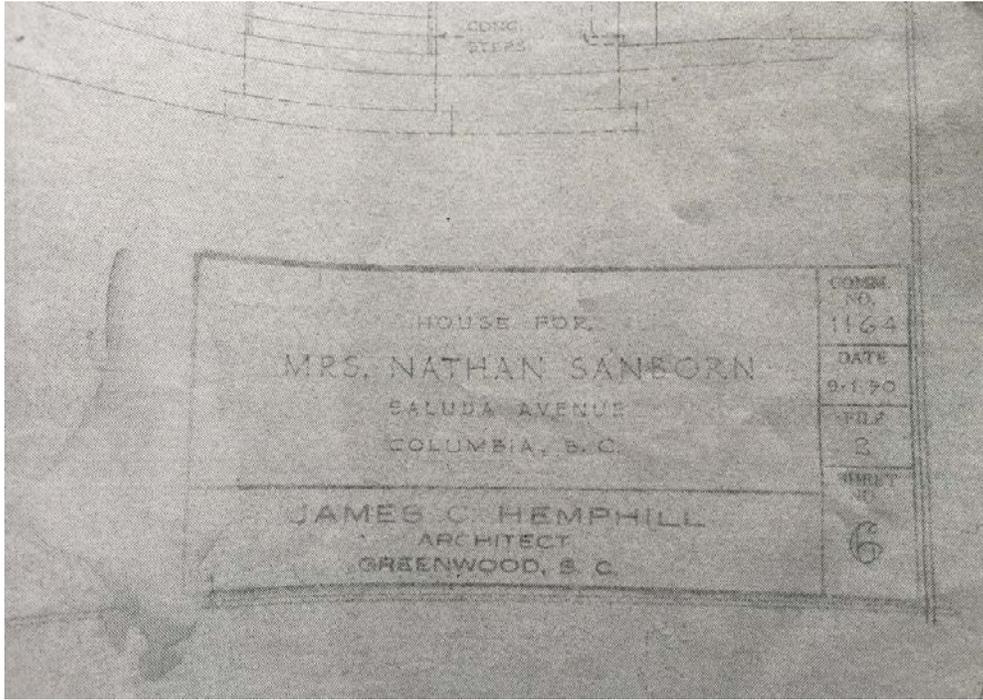
- (a) *Standards for rehabilitation work.* To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:
- (1) *The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.*
 - (2) *Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.*
 - (3) *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
 - (4) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.*
 - (5) *Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
 - (6) *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
 - (7) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.*
 - (8) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

STAFF RECOMMENDATIONS:

Staff recommends that 115 Saluda Avenue be given preliminary certification for the Bailey Bill with the following conditions:

- *The project shall meet or exceed the 20% investment threshold requirements for qualified rehabilitation expenses*
- *All work shall meet the standards for work as outlined in Section 17-698(a)*
- *All details deferred to staff.*

115 Saluda Avenue – Wales Garden Architectural Conservation District



James C. Hemphill plans for 115 Saluda Avenue dated September 1, 1950
Photograph provided by applicant



115 Saluda Avenue – Existing Conditions

115 Saluda Avenue – Wales Garden Architectural Conservation District



Existing Conditions



To Whom It May Concern:

I have recently purchased the residence located at 115 Saluda Avenue. The house appeared to have been vacant for some time upon purchase and as such seems to have lost some structural integrity as well as being in need of modernization. I have submitted the renovations in this packet so as to restore this house to its original charm and condition and submit this packet for your consideration under the Bailey Bill Tax Abatement Program.

Most of the renovations are designed to modernize the interior of the residence so as to bring the beauty and history of the house into modern flow and function. Specifically, an update and repair of the bathrooms and bathroom fixtures, modernization of the electrical systems, repairs to the HVAC as well as insulation upgrades, hardwood floor repair and polish throughout the house, and updating of the master bedroom. Additionally, I hope to expand the kitchen area so as to include a seating area as the kitchen has become like the heart of the house more so today than when the house was constructed.

However, in my zeal to keep and protect the aesthetics of the neighborhood, I acquired the original plans to the house. Those drawings showed the builder opted for a lower cost alternate to the main entrance. The original drawings called for a cast stone entrance at soft angles, curving inwards towards the front door so as to create a more inviting entrance. Currently the house has a wooden entrance at a sharp ninety degree angle. Though this is an alteration to the exterior of the house, the fact that this was part of the original drawings lends credibility that this alteration is in keeping with house itself and would be a general enhancement to the remaining houses in the district. I will forward separately the proposed revisions to the front entrance once the drawings are completed.

As a long-time Columbia resident, I have spent my career in construction and working on enhancement and beautification projects across this city. For the past 28 years I have been the owner of AOS Specialty Contractors, Inc. and through my company I have worked on a variety of enhancement projects across the city. I am particularly proud of our work on the Veteran's Monument on Statehouse Grounds, Phase II of the Main Street beautification, and the recent Assembly Streetscape Enhancement project from Pendleton to Blossom Street. I mention this here because I want the members of this committee to know that I am not going to do anything which would detract from the beauty and character of the city I love.



Dianne Rushing

115 Saluda Avenue

1 New roof and fascia repairs	\$16,800.00
2 Exterior Window repair costs & storm windows	\$8,500.00
3 New plumbing rough in to replace old pipes (no fixtures)	\$12,800.00
4 HVAC upgrade and relocation	\$23,200.00
5 Insulation upgrade (no foam)	\$8,500.00
6 Electrical upgrade (no fixtures)	\$16,430.00
	\$86,230.00

CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
 REHABILITATED HISTORIC PROPERTY APPLICATION
 PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

<p>Architectural feature <u>insulation w/ cracks</u> Approximate date of feature <u>1930's</u> Describe feature and its condition <i>Little if any insulation existing currently</i></p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature <i>Some interior paneling will be removed for ease of installation. - holes drilled in other areas to blow in new insulation</i></p>
<p>Architectural feature <u>Updated Electrical</u> Approximate date of feature <u>1930's</u> Describe feature and its condition <i>Existing Electrical does not have grounded outlets + not enough Power</i></p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature <i>estimated re-wire of entire house for safety + added energy usage.</i></p>
<p>Architectural feature <u>Driveway</u> Approximate date of feature <u>1930's</u> Describe feature and its condition <i>Existing driveway is worn + in need of replacement due to tree roots + cracking</i></p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature <i>New drive to have Additional parking</i></p>
<p>Architectural feature <u>Covered Parking behind house</u> Approximate date of feature _____ Describe feature and its condition <i>No feature currently exists</i></p> <p>Photograph No. _____ Drawing No. <u>2</u></p>	<p>Describe work and impact on feature <i>New carport not visible from the street but will allow covered parking behind the house</i></p>

*Fair market value means the appraised value as certified to the DDRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.

CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

<p>Architectural feature <u>Roof</u> Approximate date of feature <u>unknown</u> Describe feature and its condition <i>Roof is functional but in need of replacement.</i></p> <p>Photograph No. <u>1+2</u> Drawing No. _____</p>	<p>Describe work and impact on feature <i>Remove old shingles, check for damaged roof decking and support members, Install new roofing similar to existing</i></p>
<p>Architectural feature <u>Exterior Windows</u> Approximate date of feature <u>1930's</u> Describe feature and its condition <i>Existing windows on the front of the house & visible from the road to be repaired - other remaining windows to be replaced.</i></p> <p>Photograph No. <u>1+2</u> Drawing No. _____</p>	<p>Describe work and impact on feature <i>New windows + doors for energy efficiency on the rear of the house - windows visible from Saluda Ave to be repaired back to original condition</i></p>
<p>Architectural feature <u>Floors</u> Approximate date of feature <u>1930's</u> Describe feature and its condition <i>Floors are worn but can be repaired</i></p> <p style="text-align: right;"><i>46, 47, 52, 53, 55, 54, 58</i></p> <p>Photograph No. <u>20, 23</u> Drawing No. _____</p>	<p>Describe work and impact on feature <i>Clean floors, repair damaged sections, sand and re-apply stain + coating.</i></p>
<p>Architectural feature <u>Walls/Wallpaper</u> Approximate date of feature <u>1930's</u> Describe feature and its condition <i>existing walls have little if any insulation Existing walls have mold to be removed.</i></p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature <i>- Remove interior paneling to insulate - Replace with sheetrock - Remove all existing wallpaper - paint</i></p>

CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
 REHABILITATED HISTORIC PROPERTY APPLICATION
 PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

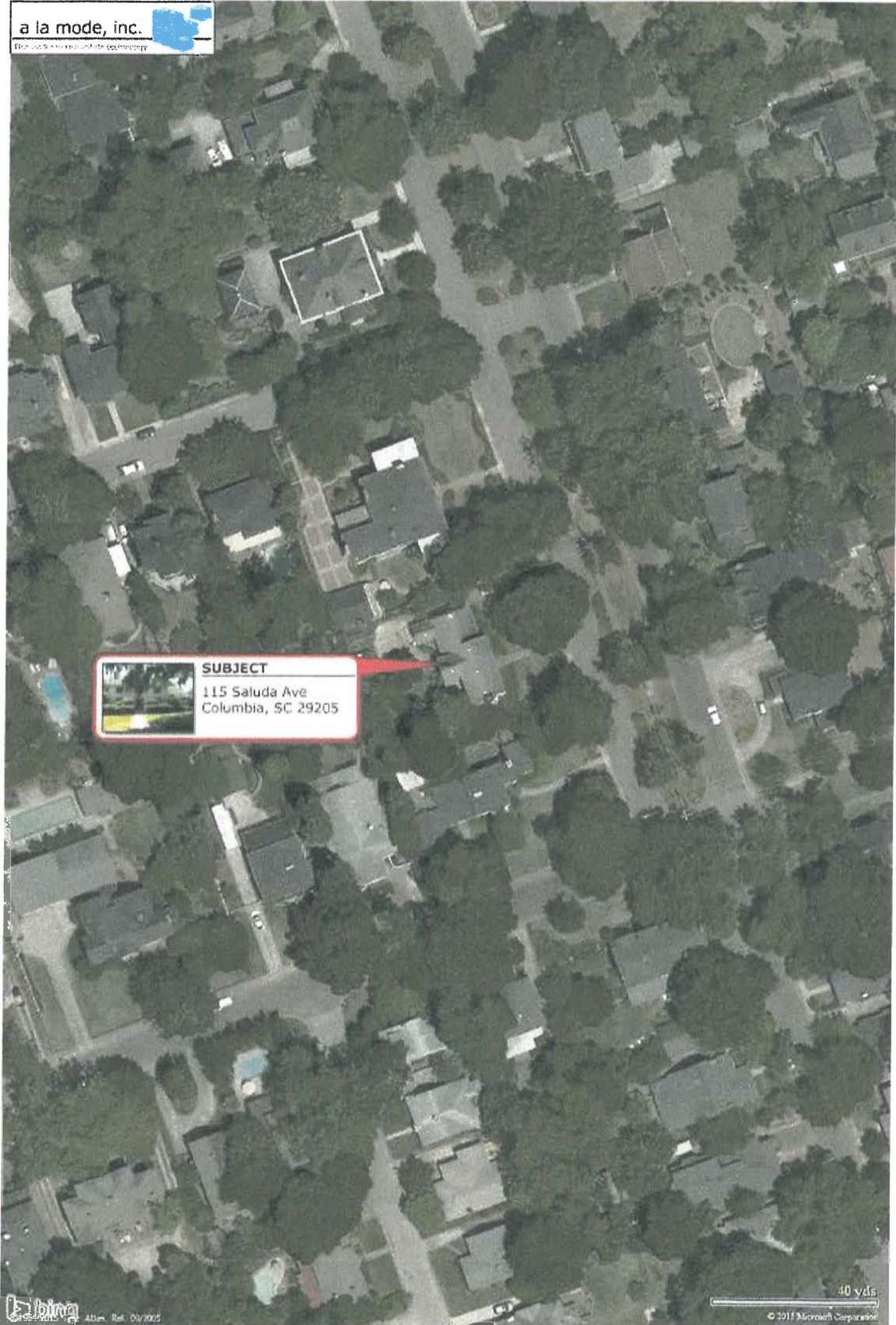
(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

<p>Architectural feature <u>Landscape Update</u> Approximate date of feature <u>1930's</u> Describe feature and its condition <i>Trim overgrown shrubs to show windows + remove vegetation from growing on the brick exterior</i></p> <p>Photograph No. <u>12, 48</u> Drawing No. _____</p>	<p>Describe work and impact on feature <i>Trim + replace shrubs as necessary</i></p>
<p>Architectural feature <u>New rear patio</u> Approximate date of feature <u>1930's</u> Describe feature and its condition <i>Existing patio has masonry damage and is small</i></p> <p>Photograph No. <u>11, 13</u> Drawing No. <u>1</u></p>	<p>Describe work and impact on feature <i>New patio to tie into existing patio for additional outdoor living space</i></p>
<p>Architectural feature <u>Bathrooms + Kitchen</u> Approximate date of feature <u>1930's</u> Describe feature and its condition <i>Kitchen and existing bathrooms are leaking and extremely dated Update plumbing to on-demand hot water</i></p> <p>Photograph No. <u>30, 32, 41</u> Drawing No. <u>44, 50, 51</u></p>	<p>Describe work and impact on feature <i>Updating shower pans + tile colors - improved usage with no negative impact on the building structure.</i></p>
<p>Architectural feature <u>Rear HVAC</u> Approximate date of feature <u>unknown</u> Describe feature and its condition <i>Relocating HVAC units from behind the house to the side to allow for new patio</i></p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature <i>Relocating HVAC units will allow for much improved use of the back yard.</i></p>

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Aerial Map

Borrower	RUSHING, Dianne A.				
Property Address	115 Saluda Ave				
City	Columbia	County	Richland	State	SC Zip Code 29205
Lender/Client	VistaBank				



Assessors Card

Assessor Database

The information provided on this page reflects data as of **December 31, 2013** and should be used for reference only. For official assessment information, please contact the Richland County Assessor's Office.

Information presented on the Assessor's Database is collected, organized and provided for the convenience of the user and is intended solely for informational purposes. **ANY USER THEREOF OR RELIANCE THEREON IS AT THE SOLE DISCRETION, RISK AND RESPONSIBILITY OF THE USER.** While every attempt is made to provide information that is accurate at the date of publication, portions of such information may be incorrect or not current. **RICHLAND COUNTY HEREBY DISCLAIMS ANY AND ALL WARRANTIES, EXPRESS OR IMPLIED, AS TO ITS ACCURACY, COMPLETENESS OR FITNESS FOR ANY PARTICULAR PURPOSE.** All official records of the County and the County's elected officials are on file at their respective offices and may be viewed by the public at those offices.

Owner Information

Tax Map Number: R1110-22-06
 Owner: TUCKER KITTRELL ANNE
 Address 1: 804 HUNTINGTON AVE
 Address 2:
 Address 3:
 City/State/Zip: COLUMBIA SC 29205
 Property Location/Code: 115 SALUDA AVE

Tax Information

Year: 2014
 Property Tax Rate: (\$5,096.82)
 Local Option Sales Tax Credit: (\$1,592.35)
 Tax Amount: \$3,733.65
 Paid: Yes
 Homestead: Yes
 Assessed: \$20,589.00

Assessment Information

Year Of Assessment: 2014 Equal Burdened: Yes
 Tax District: 1CC Sewer Connection: 0.10%
 Areaage Of Parcel: 0.00 Water Connection: 0.10%
 Non-Agriculture Value: \$175,000.00 Agriculture Value: \$0.00
 Building Value: \$538,900.00 Improvements: \$0.00
 Taxable Value: \$513,900.00
 Zoning: RS-2

Property Information

Legal Description: LOTS 7 THRU 10 & PT 0.11 B&K R #50 WALES GARDEN
 108X150X108X150 #18
 Land Type: RESIDENTIAL LAND

Sales History

Buyer Name	Acquire Date	Acquire Price	Acquire Price	Acquire Price	Acquire Price
TUCKER KITTRELL ANNE	10/03/2014	1	R1990-2851	\$3.00	2
TUCKER MARIAN STANLEY LIFE	10/19/2013	1	R19012-1000	\$5.65	9
TUCKER MARIAN STANLEY F/K/A	03/19/2013	1	R18447-2883	\$0.00	2

Structure Information

Year	Building Construction	Actual Floor Area	Number of Units	Number of Structures	Total Number of Structures	Market Value	Total Square Footage
2014	SGL FAM - WALL GROUP 3	1930	2.0	4	2.0	3914	4525

Structure Details

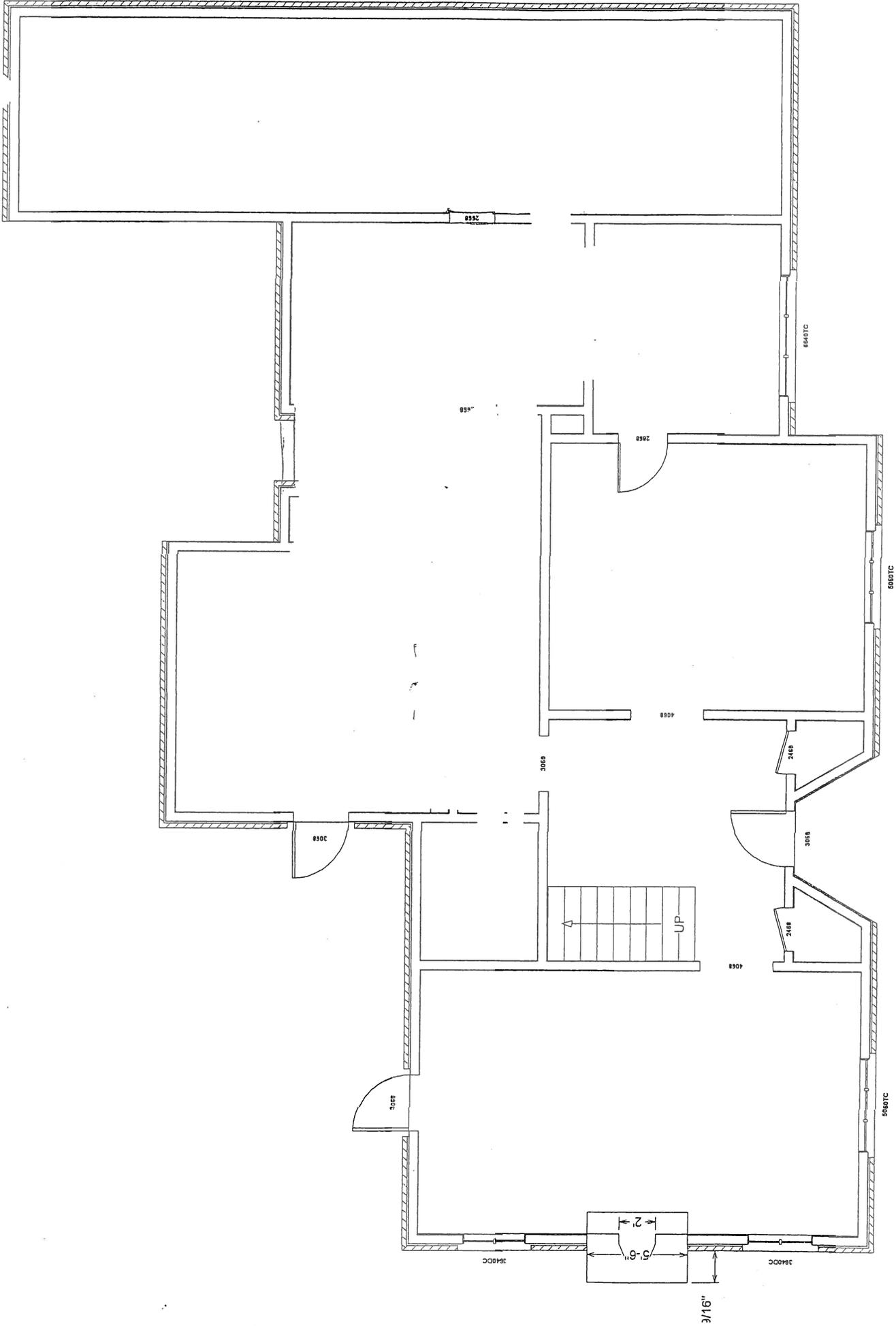
Structure Type	Structure Description	Building Element
Building Element	AC TYPE - CLUTKA	1
Building Element	ARCHITECTURAL STYLE - FRENCH PROVINCIAL	1
Building Element	BUILDING SHAPE - RECTANGLE	1
Building Element	ELECTRICAL - AVERAGE	1
Building Element	EXTERIOR WALL 1 - FACE BRICK VENER	1
Building Element	EXTERIOR WALL 2	1
Building Element	FOUNDATION - PIER	1
Building Element	HEAT TYPE/FUEL - FORCED AIR DUC/GAS	1
Building Element	INSULATION - ABOVE AVERAGE	1
Building Element	INTERIOR FLOOR 1 - HARDWOOD	1
Building Element	INTERIOR FLOOR 2	1
Building Element	INTERIOR WALL 1 - PLASTER/DRYWALL	1
Building Element	INTERIOR WALL 2	1
Building Element	ROOF COVER - ASPHALT SHINGLE	1
Building Element	ROOF STRUCTURE - GABLE OR HIP	1
Building Element	STRUCTURAL FRAME	1

Tax Assessors Map

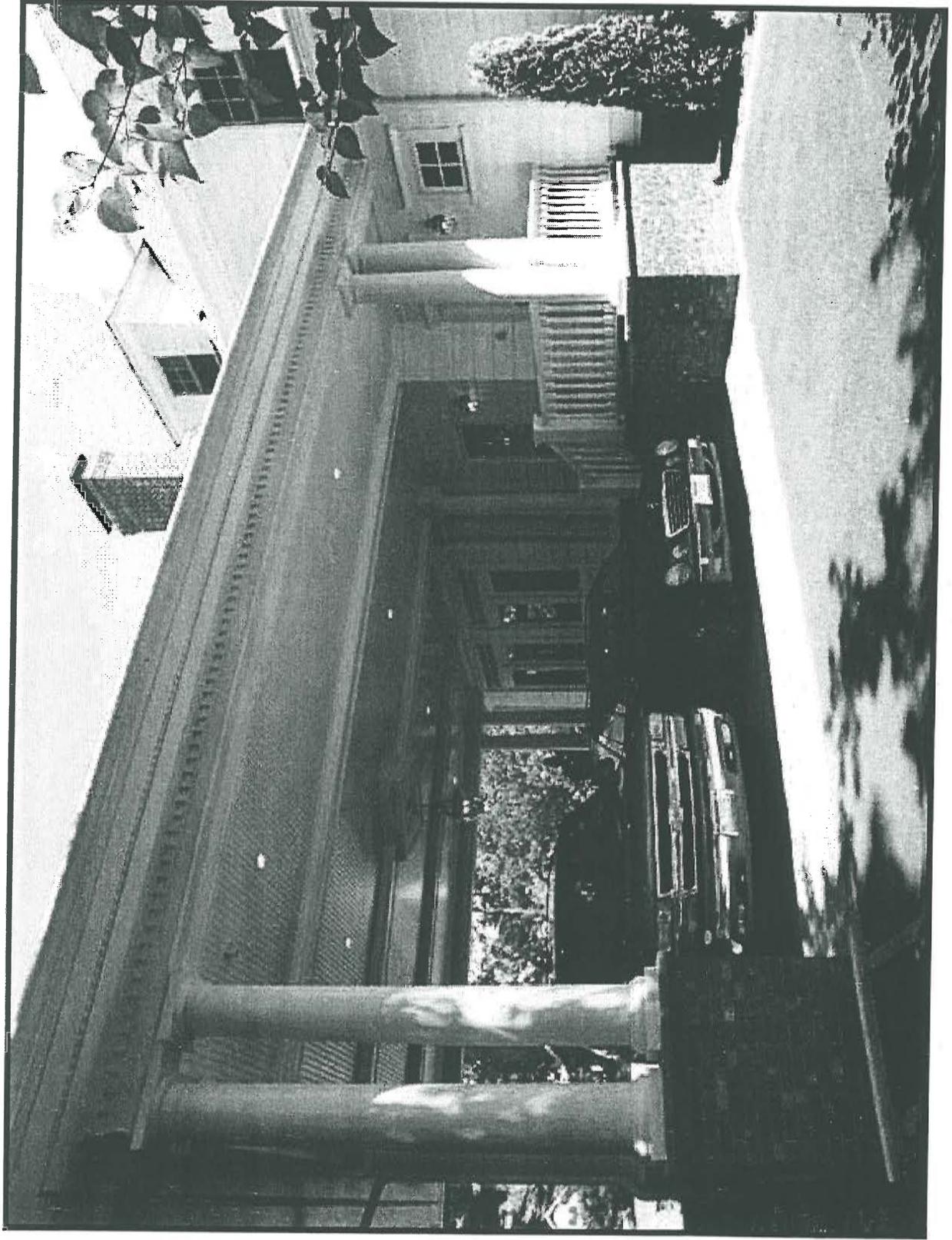


50
PROPERTY TAX MAP
RICHLAND COUNTY
SCALE: 1" = 100'

11310
ICC



SALUDA AVENUE: Existing 1st Floor
2096 sq ft



#2

Subject Photo Page

Borrower	RUSHING, Dianne A.		
Property Address	115 Saluda Ave		
City	Columbia	County	Richland
		State	SC
		Zip Code	29205
Lender/Client	VistaBank		



Subject Front

115 Saluda Ave
Sales Price 430,000
G.L.A. 3,330
Tot. Rooms 10
Tot. Bedrms. 3
Tot. Bathrms. 3.1
Location Wales Garden
View Similar Homes
Site 15,750 sf
Quality Good
Age A85/Eff. 25



Subject Rear



Subject Street

Photograph Addendum

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4

ALTERNATE FRONT



7

GUTTER RUSTED



5

RIGHT FRONT



8

RIGHT FRONT



6

LEFT SIDE WROUGHT IRON GATE



9

BACK YARD

Photograph Addendum

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10



PATIO

13



PATIO

11



PATIO

14



NEW HVAC UNIT

12



ALTERNATE REAR

15



SECOND NEW HVAC UNIT

Photograph Addendum

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OLD FUEL OIL TANK VENT FOR BURIED OIL TANK

19



RIGHT REAR

17



STORAGE BUILDING

20



STORAGE BUILDING

18



INTERIOR OF STORAGE BUILDING

21



FOYER

Photograph Addendum

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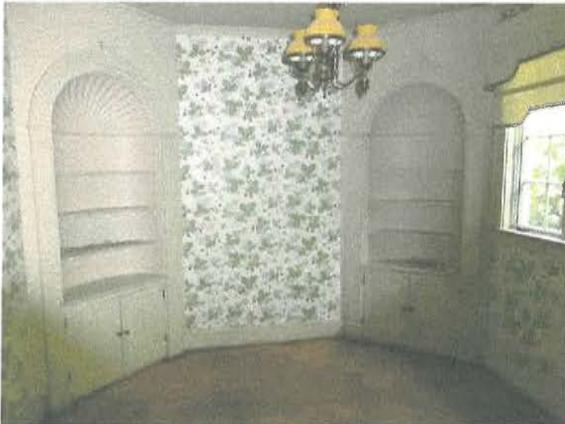
DINING ROOM

25



DINING ROOM

23



BREAKFAST ROOM W/BUILT INS

26



KITCHEN

24



KITCHEN

27



KITCHEN CEILING

Photograph Addendum

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RECREATIONAL ROOM - NOT INCLUDED IN GLA

31



CEILING IN RECREATIONAL ROOM

29



ELECTRICAL PANEL

32



HALF BATH

30



HALF BATH

33



MECHANICAL - NOT INCLUDED IN GLA

Photograph Addendum

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MECHANICAL ROOM



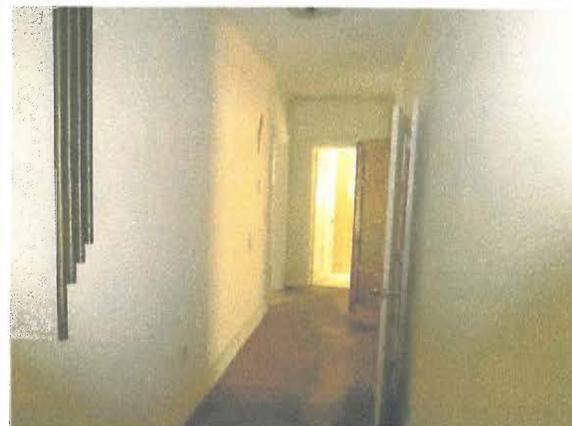
37

KITCHEN



35

KITCHEN



38

REAR HALLWAY



36

REAR ENTRY



39

PANTRY

Photograph Addendum

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DEN

43



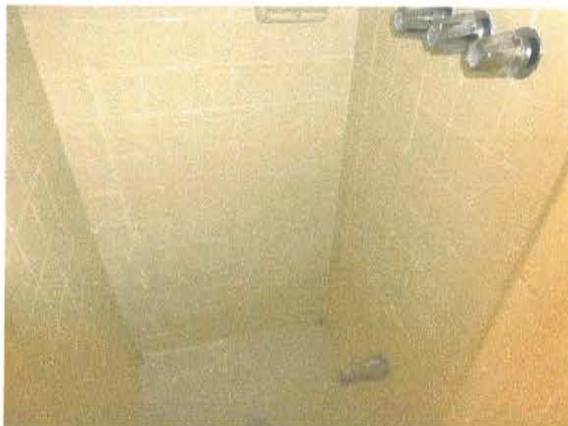
DEN

41



FULL BATH - MAIN LEVEL

44



SHOWER STALL

42



LIVING ROOM

45



LIVING ROOM

Photograph Addendum

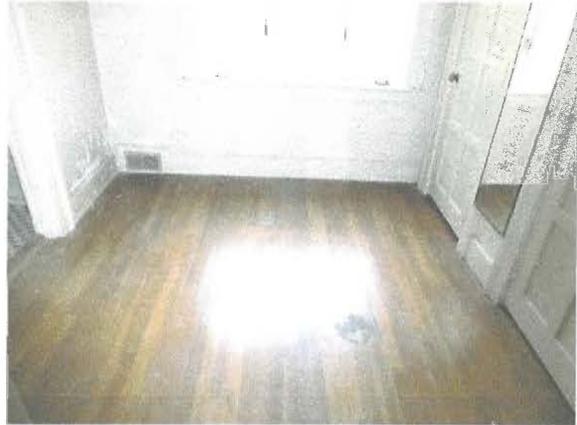
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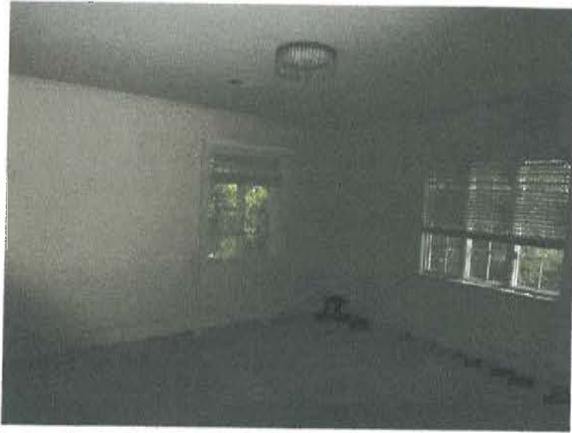
OWNER'S BEDROOM

47



OWNER'S DRESSING AREA

49



OWNER'S BEDROOM

50



OWNER'S BATH

49



HALLWAY

51



HALL BATH

Photograph Addendum

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52

RIGHT FRONT BEDROOM



55

RIGHT FRONT BEDROOM



53

PLAYROOM



56

PLAYROOM



54

WALK IN ATTIC STORAGE



57

WALK IN ATTIC STORAGE

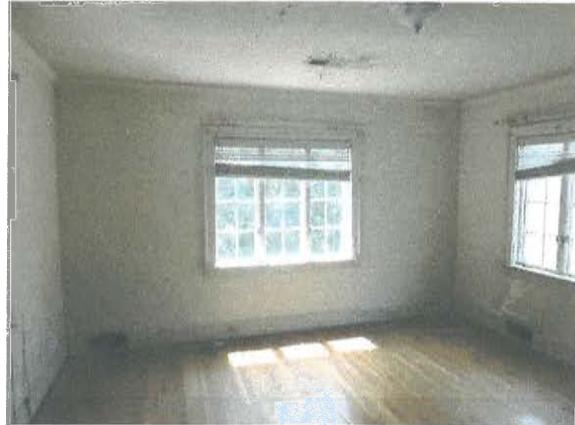
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REAR BEDROOM



60

CEILING IN REAR BEDROOM



59

REAR BEDROOM